

Southern Star Inspections, LLC

Property Inspection Report



1234 New Street Cir., The Woodlands, TX 77380

Inspection prepared for: Doe Jon

Real Estate Agent: Realtor Name Here - Realtor Company Name

Date of Inspection: 12/10/2013 Time: 9:00 a.m.

Age of Home: 2013 Size: 2762

Weather: Sunny

This is a Pre-Drywall Phase 2 Inspection following the TREC Standards of Practice.
Client was present during the inspection for walk through and questions answered.

Inspector: Travis Kepp

License #20608

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www.southernstarinspections.com



PROPERTY INSPECTION REPORT

Prepared For:	Doe Jon	
	(Name of Client)	
Concerning:	1234 New Street Cir., The Woodlands TX, 77380	
	(Address or Other Identification of Inspected Property)	
By:	Travis Kepp, License #20608	12/10/2013
	(Name and License Number of Inspector)	Date

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.state.tx.us.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is not required to move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector will note which systems and components were Inspected (I), Not Inspected (NI), Not Present (NP), and/or Deficient (D). General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing parts, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported as Deficient may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-I.

This property inspection is not an exhaustive inspection of the structure, systems, or components. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188, 1-800-250-8732 or (512) 459-6544 (<http://www.trec.state.tx.us>). REI 7-2 (8/09)

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Important Reminders:

*We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, **we are still available to you for any questions you may have, throughout the entire closing process.***

*Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection **may be limited** by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.*

*For your safety, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.***

What We Inspect:

*A Home Inspection is a **non-invasive visual examination** of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.*

*A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and **not the prediction of future conditions.***

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

*An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. **Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.***

Texas Real Estate Consumer Notice Concerning Hazards or Deficiencies:

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- Improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- Improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- Ordinary glass in locations where modern construction techniques call for safety glass;
- The lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- Excessive spacing between balusters on stairways and porches;
- Improperly installed appliances;
- Improperly installed or defective safety devices; and
- Lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

Note: All directions given in this report (i.e. left, right, front, rear) are to be taken as if standing on the street facing the front of the building or, when appropriate, the system or component being inspected. Stored items, furniture, personal belongings, vehicles, etc. all obscure and impede the inspections process. When any of these items are present, client should assume that portions of the structure, systems and components were probably concealed or otherwise overlooked. Client should not assume that every deficiency was identified, recognized, or otherwise reported.

Summary page info:

On the Summary Page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. **If items are marked RED and/or "deficient", we recommend an evaluation of the entire system by a qualified technician or professional.** The complete list of items noted is found throughout the body of the report, including Normal Maintenance items.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If any area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not guarantee the integrity of any work that was done without a permit. Depending upon your needs and those who will be on this property, items listed in the **body** of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

X			X
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A. Foundations

Type of Foundation(s):

• Slab Foundation - Post Tension Cable

Comments: This inspection is a visual review of the foundation and represents the opinion of the inspector, based solely on the inspector's personal experience with similar homes. The inspector does not pull up floor coverings, move furniture, measure elevations or propose repairs. The inspector does not enter crawl space areas less than 18". Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Homes built with slab and/or post tension cable foundation construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to visually inspect these items, they are specifically excluded from the scope of this inspection. The opinion stated below in no way addresses future foundation movement or settlement. If items are marked in Red, marked as "Deficient", and/or you should you have any concern regarding the foundation, it is recommended you have a complete evaluation prior to close.

• Performance Opinion:

***IT IS IN MY OPINION that at the time of this inspection the foundation appears to be supporting the structure and immediate significant repair needs are not evident. The structure should be monitored for signs of differential foundation settlement, with corrective measures taken if excessive settlement occurs. Weather conditions, drainage and other adverse factors can effect structures and differential movements of foundations can occur because of them. The inspectors opinion is based on visual observations of accessible and un-obstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted by the inspector.**

• Some areas of the foundation could not be inspected due to high soils and/or construction debris.

• Exposed aggregate or otherwise known as "Honeycombed" concrete was observed at several locations of the foundation. Areas include but are not limited to the front and left side of the garage door, right of front door, and the left elevation. Recommend patching/sealing these areas.

• Several corners of the foundation are not covered with plastic. Plastic should cover brick ledge completely so cracks are not formed in brick veneer wall when foundation settles.

• Exposed post tension cable "dead end" anchor was observed at the front left corner of the foundation. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables and cable supports.

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I	NI	NP	D
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Foundation blocked at right elevation of home



Exposed aggregate at right elevation of home



Missing plastic at front elevation



Exposed aggregate at front elevation/no plastic



Foundation corners are not covered with plastic



Dead end anchor exposed at the front left corner/honeycomb



Dead end anchor exposed at the left front corner

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I NI NP D

B. Grading & Drainage

Comments: Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. It is advisable to maintain at least four inches of clear area between the ground and masonry and six inches of clearance between ground and wood siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches per 10 feet. Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. Determining flood plains is beyond the scope of this inspection. The seller/builder may have more information concerning this subject. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the Grading or Drainage, it is recommended you have a complete evaluation of the drainage system prior to close.

- **Final grade has not yet been provided. The final grade will be fully evaluated during the final inspection. Grading should be configured to promote the flow of storm water away from the house and off the lot. Lots should be graded so that surface water drains away from the foundation walls. The grade shall fall a minimum of 6" away from the home within the first 10'. Uniformity of moisture content is the key to minimizing the effects of expansive soils on the foundation of a home. Landscaping should not trap water against the foundation. Provide a slope in soils below landscape bedding and in the bedding away from the foundation.**
- **There was construction debris located around the foundation at the time of the inspection. Recommend ensuring this material is removed prior to final grade being done.**

I=Inspected

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I NI NP D

C. Roof Covering Materials

Type(s) of Roof Covering:

- **Asphalt shingles**

Viewed From:

- **Ground**

Comments: As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing on the home. The inspector does not speculate on the remaining life expectancy of the roof covering. This inspection does not address future leaks nor does it certify that the roof is leak-free at time of the inspection. Adequate attic ventilation, solar/wind exposure, and organic debris all affect the life expectancy of a roof. The inspector did not determine the roof shingle fastener pattern by lifting a random sampling of shingles. It has been determined that lifting roof shingles can cause damage. Non accessible roofing surfaces are inspected from the ground with binoculars and attic only. Tiled roofing surfaces are not walked on. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof covering material, it is recommended that you have a complete evaluation of the roof covering system prior to close.

- **The roof covering and all of its components will be fully evaluated during the final inspection.**
- **Observed shingles that are cupping/lifting at the roof covering. Asphalt shingles have an adhesive strip that softens during warm weather. When the shingles heat up, they become flexible and the adhesive bonds the shingles in place. Before new shingles seal down, they can look uneven or "cupping". If shingles are newly installed, it is recommended to monitor the shingles during the summer months to be sure they lay flat.**



Cupped shingles

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I	NI	NP	D
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D. Roof Structure & Attic

Approximate Average Depth of Insulation:

- **No insulation in the attic at time of inspection. This will be inspected during the Final Home Inspection**

Approximate Average Thickness of Vertical Insulation:

- **No vertical insulation at time of inspection. If accessible, this will be inspected during the Final Home Inspection**

Comments: Not all areas of an attic are visible due to lack of access. This is a limited inspection of what can be viewed from a safe platform. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof structure, it is recommended you have a complete evaluation of the roof structure prior to close.

• **Viewed From: Attic**

- **Thermal barrier is not secure in attic. Thermal barrier/deny board should be nailed and sealed completely.**
- **Recommend removing exposed nails from lumber in front of mechanical equipment.**
- **Recommend adding a ridge support at front elevation attic. The support in place is angled in a way that it may not be adequately supporting weight above.**
- **Access to mechanical equipment in attic should not be obstructed and attic landing/walkway should be solid 3/4" floor decking material (minimum), continuous, and not less than 24 inches wide. Attic walkway is missing material and is not supported adequately. Finger Jointed material are to be used for vertical support studs and not as support for equipment.**
- **Platform created for water heaters should be supported with lateral blocks or double joist to adequately support the weight of two water heaters. There is no platform behind the water heaters. Recommend adding step for access to water heaters.**



Thermal barrier is not secure in game room bathroom



Thermal barrier is not secure in attic



Remove nails at attic landing

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I	NI	NP	D
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Support ridge in front elevation attic space



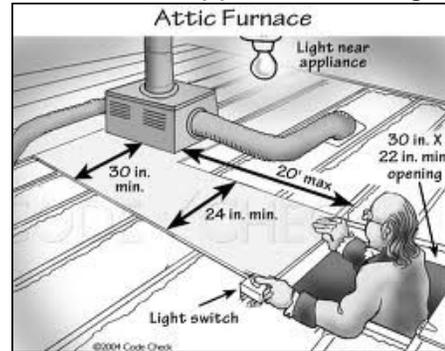
Finger joints used as support to mechanical equipment



Attic landing not supported/missing lumber



Add step to platform to water heaters



Proper attic walk way and landing

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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E. Walls (Interior and Exterior)

Wall Materials:

- Exterior walls have siding trim installed at the time of the inspection The exterior walls will be fully evaluated during the final inspection
- Interior walls do not yet have materials installed. Drywall is present on the job site. Interior walls will be fully evaluated during the final inspection

Comments: All exposed walls will be inspected. Furniture, personal items, and stored items are not moved by the inspector during the inspection. It is beyond the inspectors scope to determine the condition of the wall coverings except as they pertain to structural performance or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. All siding, but especially composition or hardboard siding must be closely monitored and seams must remain sealed (especially the lower courses at ground level). If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the walls, it is recommended a complete evaluation be conducted prior to close.

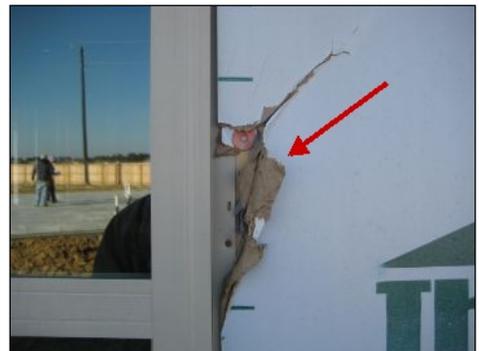
- Right side garage door trim board is bowed at the bottom due to concrete foundation wall.
- Any tear, rip, and/or damaged sheathing should be taped and sealed prior to exterior cladding install. Sheathing joints not taped at the rear elevation of the home. Check all.
- Recommend adding sole plate anchors to the kitchen sink half wall.
- Missing lap siding at left elevation, second floor.
- The brick fascia, soffit, and brick frieze should not rest directly on the shingles. There should be at minimum a 2" gap so material does not wick moisture. Siding trim material is in contact at the front elevation where eave meets the garage shingles.
- The exterior sheathing and thermal barrier should be nailed following the manufacture requirements. Check all.
- Metal ties/nail guards are missing at several locations throughout home. These metal ties will help support the lumber that has been altered by notching and/or bored holes. Areas include but are not limited to the garage, front entry hallway, and the utility room. Check all.
- Missing double studs under ridge and valley supports in the front entry hallway and secondary bedroom hallway.



Bow at lower garage door trim



Sheathing should be taped/sealed at front elevation



Sheathing should be taped/sealed at the right elevation

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Sheathing should be taped/sealed at left elevation



Sheathing should be taped/sealed at rear elevation



No gap between siding trim and shingles



Thermal barrier not attached at right elevation of home



Add metal tie to support notch in stud



Add metal tie to support notch in stud



Add metal tie to support notched in stud/protect wire



Add stud to support valley rafter at front entry



Double stud under valley rafter in hallway

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I	NI	NP	D
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F. Ceilings & Floors

Ceiling & Floor Materials:

- **Finish ceiling material is not installed at this time. The ceiling material will be fully evaluated during the final home inspection**
- **Finish flooring material is not installed at this time. The floor covering will be fully evaluated during the final home inspection**

Comments: Not all interior floors are visible and/or accessible as they may be obstructed by floor coverings, furniture, stored items, construction debris, etc. It is beyond the scope of this inspection to remove any floor covering. The inspection is not required to determine the condition of the interior ceiling or floor covering except as they pertain to the structural performance and/or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the ceilings and floors, it is recommended a complete evaluation of the ceilings and floors be conducted prior to close.

- **Missing joist hangers at master bedroom hallway. The area above is used as a landing/walkway for the mechanical equipment and should be supported.**



Missing joist hangers at master bedroom hallway

G. Doors (Interior & Exterior)

Comments: It is common in the course of climate changes that some doors may bind mildly or that the latches may need adjustment. We recommend having all locks re-keyed after closing and before moving in to your new home. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the doors, it is recommended that a complete evaluation be conducted prior to close.

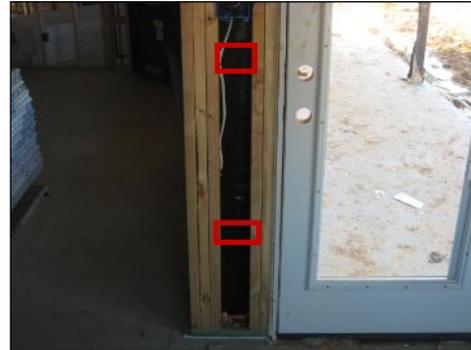
- **Only the exterior passage doors are present at this time of construction, hardware is not present at this time of the inspection. The exterior and interior doors will be inspected and operated during the final inspection.**
- **Recommend blocking left and right side of front and back doors to limit drywall cracks in the future.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Add blocks to support door frame



Add block to back door to support frame

H. Windows

Window Types:

• **Windows are made of Vinyl**

Comments: Inspection of storm windows, awnings, shutters, or other security device is beyond the scope of the inspector. Double pane window seals may be broken without having a visible amount of condensation build-up between the panes. Obviously fogged windows are noted when observed but a complete inspection is not possible due to some light conditions, installed screens, dirt on surfaces and/or rain at time of inspection. Recommend periodically sealing around all interior and exterior windows to deter moisture and insect intrusion. If items are marked in Red, marked "Deficient", and/or should you have concern regarding the windows, it is recommended that a complete evaluation of the windows be conducted prior to close.

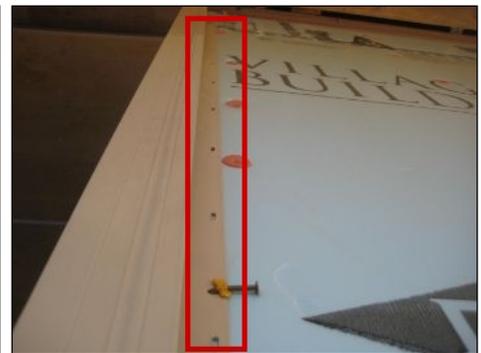
- **Windows at the rear elevation are missing jamb flashing.**
- **Two rear elevation windows are not properly secured. These windows are missing poly-seal on the interior and jamb flashing at the exterior.**



Missing window jamb flashing at rear elevation



Missing window jamb flashing at rear elevation



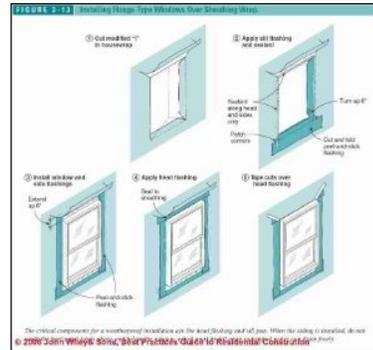
Windows not secure at rear elevation

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Poly seal around windows in master bedroom



Flashing of windows

X			
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I. Stairways (Interior & Exterior)

Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the stairways, it is recommended that a complete evaluation of the stairways be conducted prior to close.

- **Stair railing, stair parts and stair finished flooring were not installed at the time of the inspection. The stairway and its parts will be fully evaluated during the final home inspection.**
- **Stair framing was installed and acting as intended at time of the inspection**

	X		
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J. Fireplace/Chimney

Locations:

- **Fireplace is located in the living room**

Types:

- **Natural Gas**
- **Fireplace is prefabricated**

Comments: It is beyond the scope for the inspector to test the Fireplace/Chimney for proper draft. The inspector is required to perform an inspection on the visible components of the fireplace/chimney only. Freestanding wood burning stoves are beyond the scope of the inspector. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the fireplace and chimney, it is recommended that a complete evaluation of the fireplace and chimney be conducted prior to close.

- **The fireplace box will be fully evaluated and gas will be tested during the final home inspection.**

	X	X	
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K. Porches, Balconies, Decks, and Carports

Comments: It is beyond the scope of the inspector to report on detached structures or waterfront structures and equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exterior porches, decks, carports, etc, it is recommended a complete evaluation be conducted prior to close.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

L. Other

Materials:

Comments:

- **Not inspected at this time. Will be inspected at a later date.**



Left elevation of home



Right elevation of home



Rear elevation of home

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Panel Locations:

- **Main electrical panel is located in the garage on the far left wall**

Materials & Amp Rating:

- **Wiring within the main electrical panel will be fully inspected during the final home inspection**

Comments: The inspector is not required to determine the service capacity amps, voltage capacity, or the capacity of the system relative to present or future use or requirements. The inspector is not required to conduct voltage drop calculations or determine the accuracy of the breaker labeling. The electrical service panel will be opened and inspected unless a safety hazard presents itself. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the electrical service, it is recommended a complete evaluation be conducted prior to close.

- **Service entrance is underground**
- **Not inspected at this time. Will be inspected at a later date.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- **Copper wiring**

Comments: Ground Fault Circuit Interrupter (GFCI) outlets are required in the garage, bathrooms, kitchen, and all exterior outlets/wet areas. If home was constructed before this rule was implemented, it is not required to upgrade but is highly recommended. Items not inspected include but are not limited to: cable, telephone, computer, speaker, photocells, low voltage, intercom systems, electric gates and doors, yard and tree lighting. Smoke detectors are tested by pressing the test button on each detector. Smoke detectors are not tested for actual "smoke" detection. Smoke alarms are not checked when a security system is in place. If items are marked in Red, marked as "Deficient", and/or should you have concern with the branch circuits or fixtures, it is recommended a complete evaluation be conducted prior to close.

- **Outlets, switches, and fixtures will be fully inspected during the final home inspection.**
- **Recommend removing shingle and properly protecting branch wire from the heat of the dryer vent pipe in the utility room.**
- **Missing protective nail plates at several locations throughout home. These metal plates protect wires from being damaged with drywall and/or cabinet nails. Some areas include but are not limited to the garage, left elevation secondary bedroom, master bathroom and kitchen. Check all.**



Protect wire from dryer exhaust pipe/remove shingle



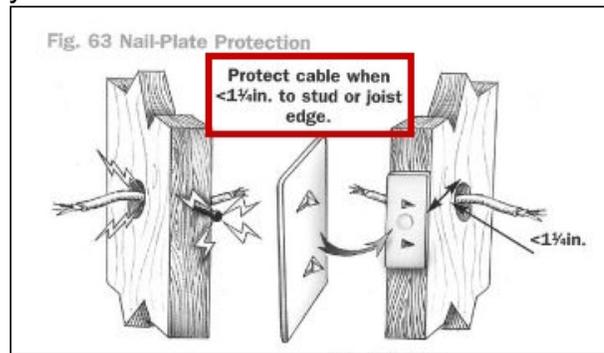
Add metal nail plate at left elevation secondary bedroom



Add metal nail plate at front room



Add metal nail plate at kitchen wall



Nail plate to protect wires

I=Inspected

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D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of System:

- **A/C condensing units were not installed at the time of the inspection. The units will be fully inspected at the final home inspection**

Energy Source:

- **Natural Gas**

Comments: Inspection of the HVAC equipment is by operation of system only. Checking humidifiers, electronic air filters, and proper air flow is not included in this inspection. Full evaluation of the gas heat exchanger requires dismantling of the furnace and is beyond the scope of this inspection. If the units have not been serviced in the last 12 months, we recommend having the units serviced by a licensed technician. We recommend the heating system be completely serviced before each heating season. Filters should be changed at regular intervals. Heat pump systems are not tested when ambient temperatures are above 65 degrees Fahrenheit to avoid damaging the system. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the heating equipment, it is recommended that a complete evaluation of the heating equipment be conducted prior to close.

- **The gas furnace will be fully inspected and tested during the final home inspection.**

B. Cooling Equipment

Type of System:

- **A/C condensing units were not installed at the time of the inspection. The units will be fully inspected at the final home inspection**

Comments: Inspection of the HVAC equipment is by operation of system only. Testing for leaks, efficiency, or disassembling equipment are not within the scope of the inspection. Cooling equipment is not checked when the outside temperature is below 60 °F because of possible damage to the compressor. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning units are not tested. We recommend the cooling system be completely serviced before each cooling season and the primary condensate drain line be flushed with a chlorine bleach/water solution every 2 months during the cooling season to prevent clogging. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the cooling equipment it is recommended that a complete evaluation of the cooling equipment be conducted prior to close.

- **The A/C system will be fully inspected and tested during the final home inspection**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Duct System, Chases, and Vents

Comments: The purpose of this inspection is to determine the ability of the ductwork to reasonably distribute conditioned air throughout the home. Ductwork is checked for significant visible deficiencies. Ducts that are concealed by insulation, enclosed in chases and walls are not accessible to the inspector and are not checked for damage. This is not an inspection of air quality. If items are marked in Red, marked as "Deficient", and/or you should have concern regarding the ducts and vents, it is recommended that a complete evaluation be conducted prior to close.

- Visually inspected the accessible areas of the HVAC ductwork only.
- HVAC duct in front of water heater and above the master bedroom is kinked.
- Fresh air ductwork is not connected at the time of the inspection.



HVAC ductwork is kinked in rear attic space



Fresh air intake is not connected

IV. PLUMBING SYSTEMS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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A. Water Supply System and Fixtures

Location of Water Meter:

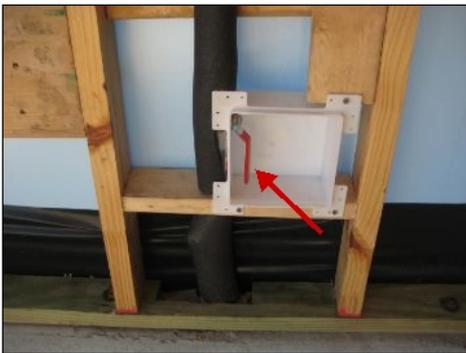
- **Front left of property by street curb**

Location of Main Water Supply Valve:

- **In garage on the left wall**

Comments: Plumbing is an important concern in any structure. Some problems may be undetectable due to being within the walls and/or underground, in floors or in the slab. Washing machine hot and cold and icemaker lines are not tested during inspection. Only visible plumbing components are inspected. Private water wells, septic systems, water softeners and filter systems are beyond the scope of this inspection. Shut off valves are not tested due to possibility of leaking or breaking after long periods of being inactive. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water supply system, it is recommended a complete evaluation be conducted prior to close.

- **Type = PEX Piping**
- **Static Water Pressure Reading: will be evaluated at the final home inspection**
- **Lumber supporting vanity hot and cold PEX lines is inadequate at the hallway bathroom.**
- **Cold water PEX line not protected at the exterior rear right elevation of the home.**
- **Cold water line in hallway bathroom is not protected with metal plate.**



Main water shut off valve in garage



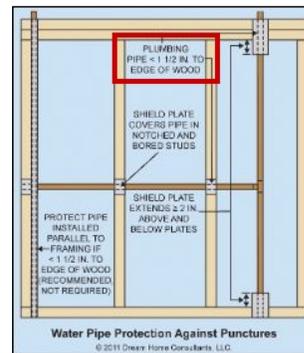
Recommend replacing damaged lumber



Exposed water line at rear elevation of home



Water line not protected at hallway bathroom



Nail plates to protect plumbing pipes

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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B. Drains, Wastes, and Vents

Comments: Drain lines for washing machines, icemakers, water conditioning systems, drain pumps or water ejection pumps are beyond the scope of this inspection. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the drains, wastes, or vents, it is recommended a complete evaluation be conducted prior to close.

- **Type = PVC**
- **Main sewer clean out is located on the exterior front elevation of the home.**
- **Drains will be fully evaluated for leaks and blockage during the final home inspection.**

C. Water Heating Equipment

Energy Source:

- **Water heater is located in the attic**

Capacity:

Comments: Emergency drain pan lines are not tested for proper drainage. The Temperature and Pressure Relief Valve(s) on water heater(s) are not operated. It is common for the valve to not properly re-seat after operation. It is advised that the Temperature and Pressure Relief Valve(s) be serviced according to the manufacturers instructions. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water heater equipment, it is recommended a complete evaluation be conducted prior to close.

- **The water heaters will be fully evaluated during the final home inspection.**

D. Hydro-Massage Therapy Equipment

Comments: Do not leave small children unattended in the unit or tub. Intake ports can have high suction which may catch hair and draw it into the intake/suction port, resulting in drowning. Hydro-Massage tubs, if not properly cleaned and maintained, can be the source of microbial and bacterial growth. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the equipment, it is recommended a complete evaluation be conducted prior to close.

- **The Hydro-Massage Therapy Tub will be evaluated and operated at the final home inspection.**

V. APPLIANCES

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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 A. Dishwasher

Comments: Units are inspected in normal wash cycle only. We recommend operating the dishwasher in other cycles prior to closing. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dishwasher, it is recommended that a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection.**

 B. Food Waste Disposer

Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the food waste disposer, it is recommended a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

 C. Range Exhaust Vent

Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range exhaust vent, it is recommended that a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

 D. Ranges, Cooktops, and Ovens

Comments: Timers and clocks on ovens, ranges, and other household appliances are not checked for accuracy over long term operation. Self-cleaning cycle is not tested due to the extensive time necessary for operation. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range and cooktop, it is recommended that a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

 E. Microwave Oven

Comments: Microwaves are tested for heating only using normal operating controls. Microwaves are not tested for leaks and/or efficiency. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the microwave, it is recommended that a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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F. Trash Compactor

Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the trash compactor, it is recommended that a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

G. Mechanical Exhaust Vents and Bathroom Heaters

Comments: Exhaust fans must discharge to the building exterior through a proper exhaust vent dampered/weather protected hood. Terminating exhaust vents in attic is prohibited. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exhaust fans, it is recommended that a complete evaluation be conducted prior to close.

- **Inspected the vent ducts only at the time of the inspection.**
- **Vent duct in utility has a gap that needs to be sealed.**



Exhaust duct pipe is not sealed above utility room

H. Garage Door Operator(s)

Door Type:

Comments: It is important to keep all safety/pressure sensitivity components in proper adjustment and in good working order. Units should have electric eye sensors. It is recommended that you consider upgrading your unit if these are not present. Recommend reprogramming remote door opening controls upon move in. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the garage door system, it is recommended that a complete evaluation be conducted prior to close.

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

I. Doorbell and Chimes

Comments:

- **Not installed at the time of the inspection. If present, inspector will fully evaluate during the final home inspection**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 J. Dryer Vents

Comments: Interior of vent pipes are not within the scope of an inspection, and are not tested for air flow. Inspection of Dryer Vent is of visual components only. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dryer vent, it is recommended that a complete evaluation be conducted prior to close.

- **Visually inspected accessible areas of the dryer vent only. Dryer exhaust flow is not tested. Vent terminates at the exterior roof of the home.**
- **Dryer vent appears to be installed and supported as intended at time of inspection.**

VI. OPTIONAL SYSTEMS
 A. Lawn and Garden Sprinkler Systems

Comments: Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. If the sprinkler system is inspected as part of this inspection, system is tested in the manual mode only. Water spray from the sprinkler system should be directed away from the structure and any decks, fences, or outbuildings. It is unknown if a check valve is installed at the water meter to prevent the sprinkler water from entering the main potable water system. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the sprinkler system, it is recommended a complete evaluation be conducted prior to close.

- **Sprinkler system was not present at time of inspection. Recommend installing an automatic irrigation system to help maintain constant soil moisture around the foundation walls. Soils in the Houston area that receive too much or too little water can affect the performance of the foundation.**

 B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

Comments: If the swimming pool is inspected as part of this inspection, the swimming pool timers are inspected in the manual mode only.

- **Pool and or spa are not present at time of the inspection.**

 C. Outbuildings

Materials:

Comments:

- **Out buildings are not present at time of inspection**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 D. Outdoor Cooking Equipment
Energy Source:

Comments: If outdoor cooking equipment is present, it is recommended that you conversate with the seller regarding the condition, maintenance, and operation of the equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the outdoor cooking equipment, it is recommended a complete evaluation be conducted prior to close.

- **Outdoor cooking equipment is not present at time of inspection.**

 E. Gas Supply Systems

Comments: This is not a gas line pressure inspection or pressure test. Many of gas supply lines are buried underground or located in walls and buried under insulation. Inspector notes gas leaks and improper installation at accessible gas supply connections and or shut off valves. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the gas supply, it is recommended a complete evaluation be conducted prior to close.

- **Gas meter was not installed at the time of the inspection. Will inspect for gas leaks and evaluate gas connections at the final home inspection.**

 F. Private Water Wells (A coliform analysis is recommended)
*Type of Pump:**Type of Storage Equipment:*

Comments: If a private water well is present, a coliform analysis is recommended.

- **Water well is not present at time of the inspection.**

 G. Private Sewage Disposal (Septic) Systems
*Type of System:**Location of Drain Field:**Comments:*

- **Septic system is not present at time of inspection.**

 H. Whole-House Vacuum Systems
Comments:

- **Vacuum system is not present at time of inspection**

 I. Other Built-in Appliances
Comments:

Report Summary

STRUCTURAL SYSTEMS

Page 4 Item: A	Foundations	<ul style="list-style-type: none"> Exposed post tension cable "dead end" anchor was observed at the front left corner of the foundation. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables and cable supports.
Page 8 Item: D	Roof Structure & Attic	<ul style="list-style-type: none"> Access to mechanical equipment in attic should not be obstructed and attic landing/walkway should be solid 3/4" floor decking material (minimum), continuous, and not less than 24 inches wide. Attic walkway is missing material and is not supported adequately. Finger Jointed material are to be used for vertical support studs and not as support for equipment. Platform created for water heaters should be supported with lateral blocks or double joist to adequately support the weight of two water heaters. There is no platform behind the water heaters. Recommend adding step for access to water heaters.
Page 10 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> Missing lap siding at left elevation, second floor. The brick fascia, soffit, and brick frieze should not rest directly on the shingles. There should be at minimum a 2" gap so material does not wick moisture. Siding trim material is in contact at the front elevation where eave meets the garage shingles. The exterior sheathing and thermal barrier should be nailed following the manufacture requirements. Check all. Metal ties/nail guards are missing at several locations throughout home. These metal ties will help support the lumber that has been altered by notching and/or bored holes. Areas include but are not limited to the garage, front entry hallway, and the utility room. Check all. Missing double studs under ridge and valley supports in the front entry hallway and secondary bedroom hallway.
Page 12 Item: F	Ceilings & Floors	<ul style="list-style-type: none"> Missing joist hangers at master bedroom hallway. The area above is used as a landing/walkway for the mechanical equipment and should be supported.
Page 13 Item: H	Windows	<ul style="list-style-type: none"> Windows at the rear elevation are missing jamb flashing. Two rear elevation windows are not properly secured. These windows are missing poly-seal on the interior and jamb flashing at the exterior.

ELECTRICAL SYSTEMS

Page 16 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> Missing protective nail plates at several locations throughout home. These metal plates protect wires from being damaged with drywall and/or cabinet nails. Some areas include but are not limited to the garage, left elevation secondary bedroom, master bathroom and kitchen. Check all.
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HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 18 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none">• Fresh air ductwork is not connected at the time of the inspection.
PLUMBING SYSTEMS		
Page 19 Item: A	Water Supply System and Fixtures	<ul style="list-style-type: none">• Cold water line in hallway bathroom is not protected with metal plate.
APPLIANCES		
Page 22 Item: G	Mechanical Exhaust Vents and Bathroom Heaters	<ul style="list-style-type: none">• Vent duct in utility has a gap that needs to be sealed.