

Southern Star Inspections, LLC

Property Inspection Report



1234 Texas Parkway, The Woodlands, TX 77380

Inspection prepared for: Jane Doe

Real Estate Agent: -

Date of Inspection: 12/12/2019 Time: 8:30 AM

Age of Home: 2019 Size: 3256 sqft

Weather: Sunny

This is a Phase 1 home inspection following the TREC Standards of Practice.

Inspector: Travis Kepp

License #20608

Phone: 713-817-3957

Email: travis@southernstarinspections.com

www.SouthernStarInspections.com



PROPERTY INSPECTION REPORT

Prepared For: Jane Doe
(Name of Client)

Concerning: 1234 Texas Parkway, The Woodlands, TX 77380
(Address or Other Identification of Inspected Property)

By: Travis Kepp, License #20608 12/12/2019
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Important Reminders:

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, **we are still available to you for any questions you may have.**

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection **may be limited** by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **This report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

Note: All directions given in this report (i.e. left, right, front, rear) are to be taken as if standing on the street facing the front of the building or, when appropriate, the system or component being inspected. Stored items, furniture, personal belongings, vehicles, etc. all obscure and impede the inspections process. When any of these items are present, client should assume that portions of the structure, systems and components were probably concealed or otherwise overlooked. Client should not assume that every deficiency was identified, recognized, or otherwise reported.

What We Inspect:

A Home Inspection is a **non-invasive visual examination** of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and **not the prediction of future conditions.**

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect..

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. **Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.**

This is NOT a Wood Destroying Insect Inspection. If requested, Southern Star Inspections provides reputable wood destroying insect inspectors for the client to contact for more information regarding their services.

Summary page info:

On the Summary Page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. **If items are marked RED and/or "deficient", we recommend an evaluation of the entire system by a qualified technician or professional.** The complete list of items noted is found throughout the body of the report, including Normal Maintenance items.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If any area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not guarantee the integrity of any work that was done without a permit. Depending upon your needs and those who will be on this property, items listed in the **body** of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

I. STRUCTURAL SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
---	--	--	---

A. Foundations*Type of Foundation(s):*

- **Slab on Grade - Post Tension Cable**

Comments: This inspection is a visual review of the foundation and represents the opinion of the inspector, based solely on the inspector's personal experience with similar homes. The inspector does not pull up floor coverings, move furniture, measure elevations or propose repairs. The inspector does not enter crawl space areas less than 18". Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Homes built with slab and/or post tension cable foundation construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to visually inspect these items, they are specifically excluded from the scope of this inspection. The opinion stated below in no way addresses future foundation movement or settlement. If items are marked in Red, marked as "Deficient", and/or you should you have any concern regarding the foundation, it is recommended you have a complete evaluation prior to close.

- **Note: The foundation performance opinion stated below neither in any way addresses future foundation movement or settlement, nor does it certify floors to be level. Soil in the Houston Texas area is known to be unstable and unpredictable. Due to the expansive nature of the soil in this area, no warranty against future movement can be made. This inspector is not responsible for defects in the slab in areas that are not visible for inspection. The inspector does not perform any engineering studies or measurements such as geological, and hydrological stability test, soils conditions reports; or any form of engineering analysis. Should you have present or future concerns regarding the foundation's condition, you are strongly advised to consult with a licensed Professional Structural Engineer for further evaluation.**

- **Interior Beams -**

- Width = approx. 12"

- Depth = approx. 24"

- The interior beam depth and width were evaluated for depth at ten (10) random points and each were within acceptable limits.

- **Exterior Beams -**

- Width = approx. 12"

- Depth = approx. 24"

- The exterior beam depth and width were evaluated for depth at ten (10) random points and each were within acceptable limits.

- A string line is in place at the time of the inspection.

- All foreign debris should be removed from within the foundation area prior to pouring concrete. Check all.

- Various drain lines are exposed and not properly coated with mastic at the time of the inspection. Check all.

- All breaks, tears, rips (damaged areas or voids) in the Post-Tensioning Cable sheathing material shall be repaired with the appropriate tape prior to concrete placement.

- Conduit material is not properly secure in place at the time of the inspection. Check all.

- **Cable Quantity -**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Front to Back = 38

Left to Right = 41

Missing 1 cable at the rear elevation of the home at the time of the inspection. Check all.

- **The dead or fixed tendon ends were not properly secure in place at the front and left elevation of the home at the time of the inspection. All nails for post tension cables should be secure to form boards. Check all.**
- **Several cables were in contact with bottom of the beams and/or pads at the time of the inspection. Where tendons cross perpendicular beams, chairs should be placed within 6 in. (150 mm) of each side of the beam. Additional chairs should be installed near cross beams to ensure support during placement of the concrete. All chairs should be properly placed under cables. Check all.**
- **Several areas of the poly/plastic were not properly secure in place and/or sealed at the time of the inspection. To prevent cement slurry from entering below vapor barriers, all holes and open seams in the vapor barrier must be repaired with approved tape. Check all.**
- **Clearance between tendons and drain waste vents were less than 3" in several locations. A minimum of 3 in. should be maintained around all piping. Chairs should be installed at each vent to maintain minimum clearance during placement of the concrete. Check all.**
- **Fixed-end of tension cables were in direct contact with the edge of the form in numerous locations. Approximately 3/4in. of space between the cable end and the form board should be present. The tendons should be pulled taught so that there is full coverage during the placement of the concrete. Check all.**
- **Pocket formers should be flush and secure against form boards prior to pouring the foundation concrete.**
- **Metal clamps (cat-heads) attached to live end of tension cables should be tight against form boards. Several cable live ends were missing these clips and should be installed properly prior to concrete placement. Check all.**
- **Several foundation pads have caved-in and are not properly formed in place at the time of the inspection. Check all.**
- **Drain line is cracked/damaged at the left elevation of the home at the time of the inspection. Drain line should be properly repaired, tested, and mastic added prior to pouring of the concrete. Check all.**



Remove all debris from within foundation



Remove all debris from within foundation



Missing cable at rear elevation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Cable not secure in place at front elevation



Cable not secure in place at garage



Cable chair not properly seated



Cable chair not properly seated



Cable chairs not properly seated



Cables not raised off beam



Cables not raised off beam at left elevation



Cables not raised off beam



Cable not raised off pad



Cables not raised off pad



Drain line not coated with mastic



Drain line not coated with mastic

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---



Repair torn/damaged poly



Repair/seal torn poly



Repair/seal torn poly



Repair/seal torn poly



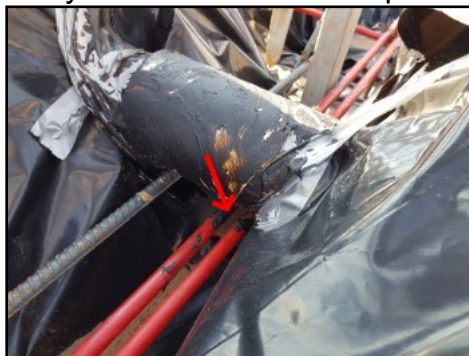
Poly not sealed/secure in place



Poly not sealed/secure in place



Poly not sealed/secure in place



Cables in contact with drain at left elevation



Cables in contact with drain at rear elevation



Cables in contact with drain at right elevation



Cable in contact with form at left elevation



Cable in contact with form at rear right elevation

I=Inspected

NI=Not Inspected

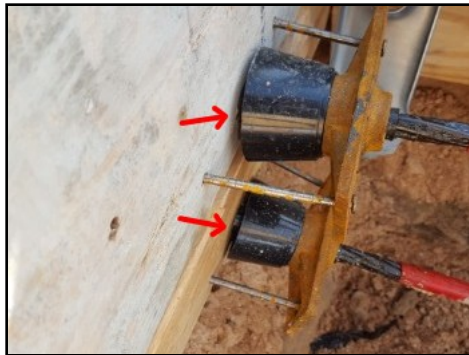
NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Pocket formers not flush to form at left elevation



Pocket formers not flush to form at left elevation



Pocket formers not flush to form at rear elevation



Cable clamp not secure in place



Cable clamps not secure in place



Conduit material not secure in place



Evidence of cave-in at rear elevation



Evidence of cave-in at rear elevation



Evidence of cave-in at right elevation



Damaged drain line at left elevation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

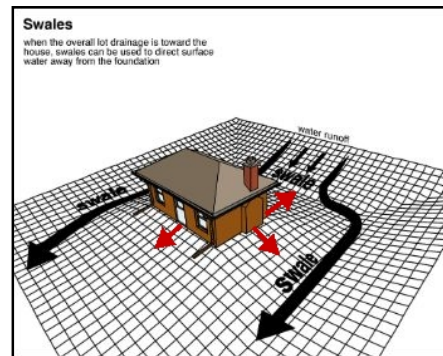
B. Grading & Drainage

Comments: Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. It is advisable to maintain at least four inches of clear area between the ground and masonry and six inches of clearance between ground and wood siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches per 10 feet. Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. Determining flood plains is beyond the scope of this inspection. The seller/builder may have more information concerning this subject. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the Grading or Drainage, it is recommended you have a complete evaluation of the drainage system prior to close.

- **Final grade has not yet been provided. The final grade will be fully evaluated during the final inspection. Determining the flood plain or the chance of rising water is not determined by this inspection. The owner/builder may have more information concerning this subject.**
- **All voids below form boards should be backfilled prior to concrete placement.**



Void present at right elevation



Example of positive drainage/grading

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 C. Roof Covering Materials
Type(s) of Roof Covering:

- **Asphalt shingles**

Viewed From:

- **Ground with binoculars**

Comments: As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing on the home. The inspector does not speculate on the remaining life expectancy of the roof covering. This inspection does not address future leaks nor does it certify that the roof is leak-free at time of the inspection. Adequate attic ventilation, solar/wind exposure, and organic debris all affect the life expectancy of a roof. The inspector did not determine the roof shingle fastener pattern by lifting a random sampling of shingles. It has been determined that lifting roof shingles can cause damage. Non accessible roofing surfaces are inspected from the ground with binoculars and attic only. Tiled roofing surfaces are not walked on. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof covering material, it is recommended that you have a complete evaluation of the roof covering system prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

 D. Roof Structures and Attics
*Approximate Average Depth of Insulation:**Approximate Average Thickness of Vertical Insulation:*

Comments: Not all areas of an attic are visible due to lack of access. This is a limited inspection of what can be viewed from a safe platform. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof structure, it is recommended you have a complete evaluation of the roof structure prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

 E. Walls (Interior and Exterior)
Wall Materials:

Comments: All exposed walls will be inspected. Furniture, personal items, and stored items are not moved by the inspector during the inspection. It is beyond the inspectors scope to determine the condition of the wall coverings except as they pertain to structural performance or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. All siding, but especially composition or hardboard siding must be closely monitored and seams must remain sealed (especially the lower courses at ground level). If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the walls, it is recommended a complete evaluation be conducted prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

F. Ceilings and Floors

Ceiling & Floor Materials:
Comments: Not all interior floors are visible and/or accessible as they may be obstructed by floor coverings, furniture, stored items, construction debris, etc. It is beyond the scope of this inspection to remove any floor covering. The inspection is not required to determine the condition of the interior ceiling or floor covering except as they pertain to the structural performance and/or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the ceilings and floors, it is recommended a complete evaluation of the ceilings and floors be conducted prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

G. Doors (Interior and Exterior)

Comments: It is common in the course of climate changes that some doors may bind mildly or that the latches may need adjustment. We recommend having all locks re-keyed after closing and before moving in to your new home. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the doors, it is recommended that a complete evaluation be conducted prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

H. Windows

Window Types:
Comments: Inspection of storm windows, awnings, shutters, or other security device is beyond the scope of the inspector. Double pane window seals may be broken without having a visible amount of condensation build-up between the panes. Obviously fogged windows are noted when observed but a complete inspection is not possible due to some light conditions, installed screens, dirt on surfaces and/or rain at time of inspection. Recommend periodically sealing around all interior and exterior windows to deter moisture and insect intrusion. If items are marked in Red, marked "Deficient", and/or should you have concern regarding the windows, it is recommended that a complete evaluation of the windows be conducted prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

I. Stairways (Interior and Exterior)

Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the stairways, it is recommended that a complete evaluation of the stairways be conducted prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

J. Fireplaces and Chimneys

Locations:

Types:

Comments: It is beyond the scope for the inspector to test the Fireplace/Chimney for proper draft, conduct a smoke test or verify the integrity of the flue. The inspector is required to perform an inspection on the visible components of the fireplace/chimney only. Freestanding wood burning stoves are beyond the scope of the inspector. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the fireplace and chimney, it is recommended that a complete evaluation of the fireplace and chimney be conducted prior to close by a qualified contractor.

- **Not inspected at this time. Will be inspected at a later date.**

K. Porches, Balconies, Decks, and Carports

Comments: It is beyond the scope of the inspector to report on detached structures or waterfront structures and equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exterior porches, decks, carports, etc, it is recommended a complete evaluation be conducted prior to close.

- **Not inspected at this time. Will be inspected at a later date.**

L. Other

Materials:

Comments:



Right elevation of home



Left elevation of home



Main sewer clean out at front right elevation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Water meter location at front left corner



Main water line entry to home

Report Summary

STRUCTURAL SYSTEMS

Page 6 Item: A	Foundations	<ul style="list-style-type: none"> • Cable Quantity - Front to Back = 38 Left to Right = 41 Missing 1 cable at the rear elevation of the home at the time of the inspection. Check all. • The dead or fixed tendon ends were not properly secure in place at the front and left elevation of the home at the time of the inspection. All nails for post tension cables should be secure to form boards. Check all. • Several cables were in contact with bottom of the beams and/or pads at the time of the inspection. Where tendons cross perpendicular beams, chairs should be placed within 6 in. (150 mm) of each side of the beam. Additional chairs should be installed near cross beams to ensure support during placement of the concrete. All chairs should be properly placed under cables. Check all. • Several areas of the poly/plastic were not properly secure in place and/or sealed at the time of the inspection. To prevent cement slurry from entering below vapor barriers, all holes and open seams in the vapor barrier must be repaired with approved tape. Check all. • Clearance between tendons and drain waste vents were less than 3" in several locations. A minimum of 3 in. should be maintained around all piping. Chairs should be installed at each vent to maintain minimum clearance during placement of the concrete. Check all. • Fixed-end of tension cables were in direct contact with the edge of the form in numerous locations. Approximately 3/4in. of space between the cable end and the form board should be present. The tendons should be pulled taught so that there is full coverage during the placement of the concrete. Check all. • Pocket formers should be flush and secure against form boards prior to pouring the foundation concrete. • Metal clamps (cat-heads) attached to live end of tension cables should be tight against form boards. Several cable live ends were missing these clips and should be installed properly prior to concrete placement. Check all. • Several foundation pads have caved-in and are not properly formed in place at the time of the inspection. Check all. • Drain line is cracked/damaged at the left elevation of the home at the time of the inspection. Drain line should be properly repaired, tested, and mastic added prior to pouring of the concrete. Check all.
----------------	-------------	--