

# Southern Star Inspections, LLC

## Property Inspection Report



1234 Texas Dr., Pinehurst, TX 77362

Inspection prepared for: John Doe

Real Estate Agent: -

Date of Inspection: 2/3/2020 Time: 8:30 AM

Age of Home: 2020 Size: 3756 sqft

Weather: Sunny

Home is a two story with an attached three car garage. Client present at time of the inspection.

Inspector: Travis Kepp

License #20608

Phone: 713-817-3957

Email: [travis@southernstarinspections.com](mailto:travis@southernstarinspections.com)

[www.SouthernStarInspections.com](http://www.SouthernStarInspections.com)



**PROPERTY INSPECTION REPORT**

Prepared For: John Doe  
(Name of Client)

Concerning: 1234 Texas Dr., Pinehurst, TX 77362  
(Address or Other Identification of Inspected Property)

By: Travis Kepp, License #20608 2/3/2020  
(Name and License Number of Inspector) (Date)

**PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES**

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000  
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

**Important Reminders:**

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, **we are still available to you for any questions you may have.**

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection **may be limited** by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **This report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

**Note:** All directions given in this report (i.e. left, right, front, rear) are to be taken as if standing on the street facing the front of the building or, when appropriate, the system or component being inspected. Stored items, furniture, personal belongings, vehicles, etc. all obscure and impede the inspections process. When any of these items are present, client should assume that portions of the structure, systems and components were probably concealed or otherwise overlooked. Client should not assume that every deficiency was identified, recognized, or otherwise reported.

**What We Inspect:**

A Home Inspection is a **non-invasive visual examination** of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and **not the prediction of future conditions.**

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect..

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. **Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.**

**This is NOT a Wood Destroying Insect Inspection.** If requested, Southern Star Inspections provides reputable wood destroying insect inspectors for the client to contact for more information regarding their services.

**Summary page info:**

On the Summary Page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. **If items are marked RED and/or "deficient", we recommend an evaluation of the entire system by a qualified technician or professional.** The complete list of items noted is found throughout the body of the report, including Normal Maintenance items.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If any area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not guarantee the integrity of any work that was done without a permit. Depending upon your needs and those who will be on this property, items listed in the **body** of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

**Note:** If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## I. STRUCTURAL SYSTEMS

☒ ☐ ☐ ☒ **A. Foundations**
*Type of Foundation(s):*

- **Slab on Grade - Post Tension Cable**

*Comments: This inspection is a visual review of the foundation and represents the opinion of the inspector, based solely on the inspector's personal experience with similar homes. The inspector does not pull up floor coverings, move furniture, measure elevations or propose repairs. The inspector does not enter crawl space areas less than 18". Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Homes built with slab and/or post tension cable foundation construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to visually inspect these items, they are specifically excluded from the scope of this inspection. The opinion stated below in no way addresses future foundation movement or settlement. If items are marked in Red, marked as "Deficient", and/or you should you have any concern regarding the foundation, it is recommended you have a complete evaluation prior to close.*

- **Performance Opinion:**

**\*IT IS IN MY OPINION that at the time of this inspection the visible areas of the foundation appears to be supporting the structure and immediate significant repair needs are not evident. The structure should be monitored for signs of differential foundation settlement, with corrective measures taken if excessive settlement occurs. Weather conditions, drainage and other adverse factors can effect structures and differential movements of foundations can occur because of them. The inspectors opinion is based on visual observations of accessible and un-obstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted by the inspector.**

- **Remove nails from foundation walls. Nails present at the foundation wall are either from the tension cables or brick layers. Check all.**

- **Post tension cable is not properly sealed at the left and rear left elevation foundation wall. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables. Check all.**



Remove nails from foundation wall



Exposed tension cable at left elevation



Exposed tension cable at rear left elevation

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X			X
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**B. Grading & Drainage**

*Comments: Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. It is advisable to maintain at least four inches of clear area between the ground and masonry and six inches of clearance between ground and wood siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches per 10 feet. Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. Determining flood plains is beyond the scope of this inspection. The seller/builder may have more information concerning this subject. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the Grading or Drainage, it is recommended you have a complete evaluation of the drainage system prior to close.*

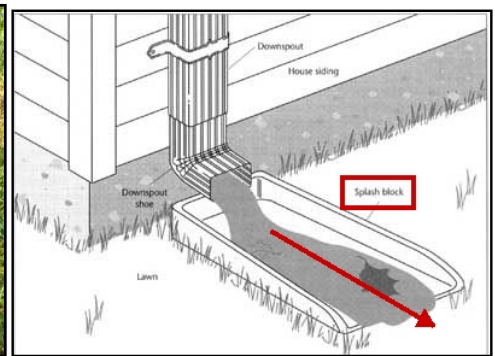
- **Full gutter system is installed at the time of the inspection. Recommend removing debris from gutters periodically so that moisture can be diverted away from foundation walls in a uniform manner.**
- **Recommend open end of splash block be placed away from the home to deter standing water. Check all.**
- **Subsurface and/or french drains are not present at time of inspection.**
- **Missing splash blocks at the gutter down spouts at various locations of the home at the time of the inspection. Check all.**
- **Evidence of excessive moisture and/or standing water was observed at the rear right and rear left of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: additional gutters, improved swale, surface drains, french drains, or sub surface drains.**
- **Gutters have debris that can possibly clog the gutter down spout and cause moisture penetration. Recommend periodically cleaning all gutters so that water is diverted away from structure as intended.**



Open end away from structure



Missing splash block



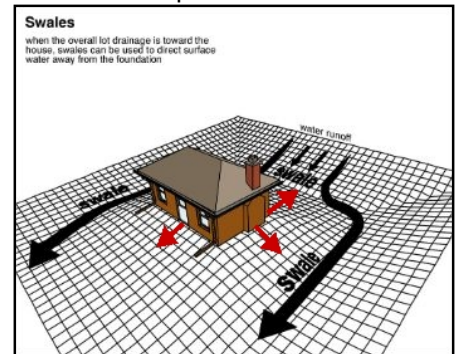
Splash block



Evidence of excessive moisture



Excessive moisture at rear left elevation



Example of positive drainage/grading



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I NI NP D



Debris in gutters



Debris in gutters

☒ ☐ ☐ ☒

### C. Roof Covering Materials

Type(s) of Roof Covering:

- Asphalt shingles

Viewed From:

- Accessible areas of the roof

Comments: As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing on the home. The inspector does not speculate on the remaining life expectancy of the roof covering. This inspection does not address future leaks nor does it certify that the roof is leak-free at time of the inspection. Adequate attic ventilation, solar/wind exposure, and organic debris all affect the life expectancy of a roof. The inspector did not determine the roof shingle fastener pattern by lifting a random sampling of shingles. It has been determined that lifting roof shingles can cause damage. Non accessible roofing surfaces are inspected from the ground with binoculars and attic only. Tiled roofing surfaces are not walked on. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof covering material, it is recommended that you have a complete evaluation of the roof covering system prior to close.

- Maintenance of roof covering is necessary on an annual or semi-annual basis. This generally consists of replacing loose or missing shingles, replacing ridge caps, and sealing exposed nails as necessary. Life expectancy of a composition roof can range from 15 - 25 years, depending on the quality of the material. Shingles labeled as 30-40 year life expectancy, last approximately 20-25 years in the Houston area. It is best to replace a roof when signs of cracking, curling edges, brittle shingles, or signs of granular loss are observed.
- Recommend extending gutter downspouts from the upper roof line to the lower gutter system so shingles do not become prematurely worn in these areas. Check all.
- Evidence of fresh sealant is present at the front elevation of the roof covering, over garage area that has signs of moisture intrusion. Recommend consulting with builder regarding previous leaks and/or repairs made to the roof covering and if leak test was conducted at this area.
- Observed vegetation debris such as leaves and/or pine needles on the roof covering that should be removed as needed. Check all.
- Polyurethane roof jacks are buckled at various locations of the roof covering at the time of the inspection. Buckled roof jacks can hold water and cause deterioration/leaks. Check all.

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Gutter extension recommended



Fresh sealant at front elevation (over front garage)



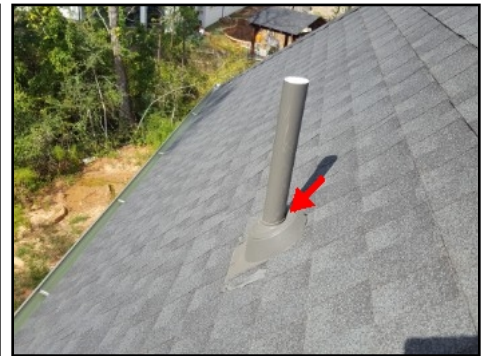
Debris on roof covering



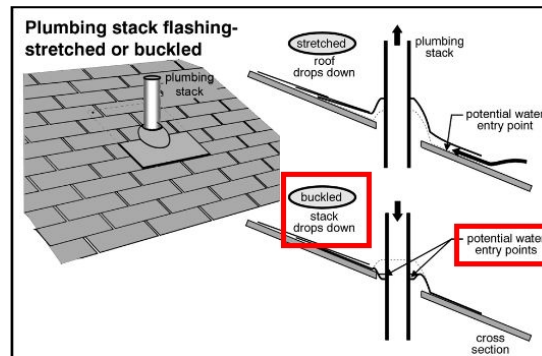
Buckled roof jack at upper rear left elevation



Buckled roof jacks at rear left elevation



Buckled roof jacks at rear left elevation



Example of buckled roof jacks



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I NI NP D

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**D. Roof Structures and Attics***Approximate Average Depth of Insulation:*

- **Insulation is approx. 14-16 inches deep**

*Approximate Average Thickness of Vertical Insulation:*

- **Unknown Depth. The inspector is unable to determine the depth of the insulation behind drywall**

*Comments: Not all areas of an attic are visible due to lack of access. This is a limited inspection of what can be viewed from a safe platform. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof structure, it is recommended you have a complete evaluation of the roof structure prior to close.*

- **A debris catching area, known as a "trap", is present on this roof design at the front elevation of the home. Roofing may deteriorate more quickly at this location due to the built up of debris. Debris should be cleared in this location, including the gutter system on a regular basis.**

- **Viewed From: Accessible Areas of the Attic**

- **Ridge brace was not present over the 5' garage extension area at the time of the inspection.**

- **Seal hole in lower rear right attic exterior sidewall OSB material. Check all.**

- **Several pieces of batts insulation were missing and/or not properly secure in place within the attic space. Replacing missing insulation so that all areas have an equal R-value has proven to save energy. Check all.**



Monitor "trap" area in roof design



Ridge brace not present over 5' garage extension



Seal hole at lower rear right attic space



Missing batts insulation at living room ceiling



Insulation not present over scuttle door



Insulation not present over scuttle door

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**E. Walls (Interior and Exterior)***Wall Materials:*

- Exterior walls are Stucco/Brick/Stone/Siding Material

- Interior walls are made of Drywall

*Comments: All exposed walls will be inspected. Furniture, personal items, and stored items are not moved by the inspector during the inspection. It is beyond the inspectors scope to determine the condition of the wall coverings except as they pertain to structural performance or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. All siding, but especially composition or hardboard siding must be closely monitored and seams must remain sealed (especially the lower courses at ground level). If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the walls, it is recommended a complete evaluation be conducted prior to close.*

- Seal all gaps where the exterior cladding material intersects with one another to deter moisture and insect intrusion. Some areas include but not limited to: exterior siding to brick, brick to stucco. Check all.

- Minor caulk and paint touch ups needed at exterior of the home. Recommend sealing all gaps and/or voids in siding material. All exposed nail heads securing siding material to structure should be sealed as needed. Check all.

- Seal around all gaps of electrical and/or plumbing penetrations through cabinets and walls so not to lose conditioned air. Some areas include but not limited to: around plumbing pipes in cabinets, at electrical outlets and fixtures, vents.

- Minor drywall repair and paint touch ups are needed at various locations of the home. Check all.

- Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and A/C refrigerant lines. Check all.

- Moisture stains and damage is present at the garage walls and load bearing beam. Higher than normal moisture reading is present at these locations at the time of the inspection. It is recommended to consult with the builder regarding previous leaks/repairs made in this area and if leak test was conducted. Observed what appears to be mildew growth at lower baseboard. Recommend removing drywall/insulation and cleaning this area with a mixture of bleach and water and allowing to air dry. Monitor for future leaks and/or growth of mildew. If mildew surfaces it is recommended to contact the builder and a mildew/mold specialist.



Seal all exterior penetrations



A/C refrigerant lines not sealed



Moisture stains/damage present

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I NI NP D



Moisture stains/damage present



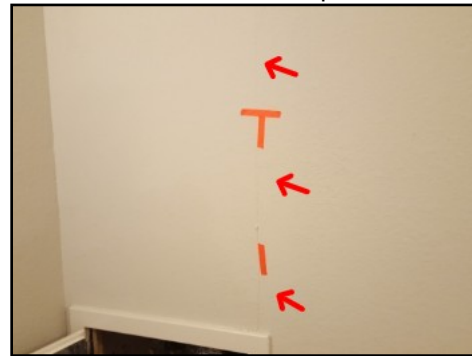
Higher than normal moisture reading present



Higher than normal moisture reading present



Possible mildew growth at garage baseboard



Settling crack at media room

☒ I ☐ NI ☐ NP ☒ D

## F. Ceilings and Floors

### Ceiling & Floor Materials:

- Ceiling is Drywall

- Flooring is Carpet/Wood/Tile

Comments: Not all interior floors are visible and/or accessible as they may be obstructed by floor coverings, furniture, stored items, construction debris, etc. It is beyond the scope of this inspection to remove any floor covering. The inspection is not required to determine the condition of the interior ceiling or floor covering except as they pertain to the structural performance and/or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the ceilings and floors, it is recommended a complete evaluation of the ceilings and floors be conducted prior to close.

- Minor drywall repair and paint touch ups needed at the ceiling throughout the home. Check all.

- Moisture stains and damage is present at the garage walls and load bearing beam. Higher than normal moisture reading is present at these locations at the time of the inspection. It is recommended to consult with the builder regarding previous leaks/repairs made in this area and if leak test was conducted. Recommend removing drywall/insulation and cleaning this area with a mixture of bleach and water and allowing to air dry. Monitor for future leaks and/or growth of mildew. If mildew surfaces it is recommended to contact the builder and a mildew/mold specialist.

- Floor pops and/or squeaks are present at upstairs flooring. This can sometimes be repaired by pulling floor covering back and securing floor decking. Check all.



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Moisture stains/damage present



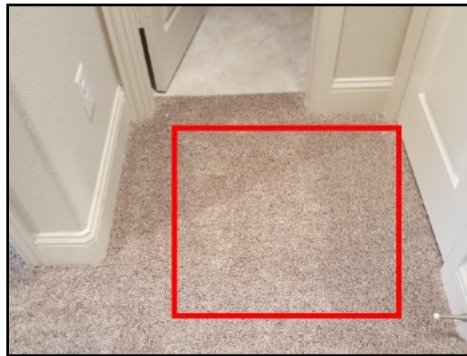
Moisture stains/damage present



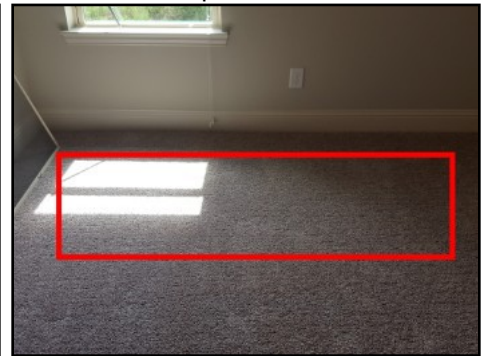
Higher than normal moisture reading present



Floor pops/squeaks present



Floor pops/squeaks present



Floor pops/squeaks present

X			X
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## G. Doors (Interior and Exterior)

*Comments: It is common in the course of climate changes that some doors may bind mildly or that the latches may need adjustment. We recommend having all locks re-keyed after closing and before moving in to your new home. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the doors, it is recommended that a complete evaluation be conducted prior to close.*

- **Recommend adjusting doors so they are tight against strike plate when closed. Check all.**
- **Seal exterior door thresholds and at bottom of door jambs/trim to limit moisture/insect intrusion. Check all.**
- **Observed gap at the lower strike side of the back door when closed. Recommend adjusting the weatherstripping and/or door to close gap.**
- **Missing weatherstripping at the garage door at the time of the inspection.**
- **Door rubs on frame/jamb and is difficult to open and close at the upstairs front elevation bedroom at the time of the inspection. Check all.**



Seal door thresholds/jambs



Seal door thresholds/jambs



Seal door thresholds/jambs

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I NI NP D



Gap at lower strike side



Missing weatherstripping at garage door



Door rubs on frame/jamb

X			X
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## H. Windows

Window Types:

- **Window frames are made of Vinyl**
- **Windows are Single Hung**

Comments: Inspection of storm windows, awnings, shutters, or other security device is beyond the scope of the inspector. Double pane window seals may be broken without having a visible amount of condensation build-up between the panes. Obviously fogged windows are noted when observed but a complete inspection is not possible due to some light conditions, installed screens, dirt on surfaces and/or rain at time of inspection. Recommend periodically sealing around all interior and exterior windows to deter moisture and insect intrusion. If items are marked in Red, marked "Deficient", and/or should you have concern regarding the windows, it is recommended that a complete evaluation of the windows be conducted prior to close.

- **Recommend sealing around all interior and exterior windows to deter moisture and insect intrusion. Check all.**
- **Observed missing screen at the upper rear left elevation of the home at the time of the inspection. Check all.**
- **Vinyl window weep hole covers are missing, damaged (missing flapper), and/or blocked with mortar at various locations of the home. Check all.**
- **Windows at the rear elevation wall of the morning area are not properly latching at the time of the inspection. Check all.**
- **Upstairs rear left elevation bedroom window sash track is not properly secure in place at the time of the inspection. Check all.**



Missing screen at rear left elevation



Missing weep hole covers at front elevation



Damaged weep hole cover at rear elevation

I=Inspected

NI=Not Inspected

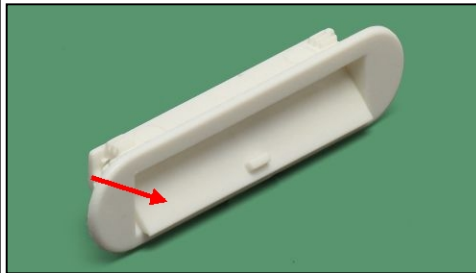
NP=Not Present

D=Deficient

I	NI	NP	D
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Blocked weep hole cover at rear left elevation



Example of window weep hole cover



Windows not latching



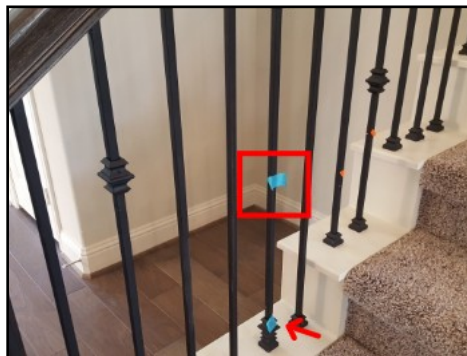
Sash track not secure in place

X			X
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## I. Stairways (Interior and Exterior)

*Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the stairways, it is recommended that a complete evaluation of the stairways be conducted prior to close.*

- **Stair treads and risers were installed and acting as intended at time of the inspection.**
- **The staircase spindle bases are not installed in proper place and/or not properly secure in place at the time of the inspection. Check all.**



Staircase spindle base not in correct space



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☒ ☐ ☐ ☒
**J. Fireplaces and Chimneys***Locations:*

- **Fireplace is located in the Living Room**

*Types:*

- **Natural Gas**
- **Fireplace is prefabricated**

*Comments: It is beyond the scope for the inspector to test the Fireplace/Chimney for proper draft, conduct a smoke test or verify the integrity of the flue. The inspector is required to perform an inspection on the visible components of the fireplace/chimney only. Freestanding wood burning stoves are beyond the scope of the inspector. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the fireplace and chimney, it is recommended that a complete evaluation of the fireplace and chimney be conducted prior to close by a qualified contractor.*

- **Fireplace has a glass front and is operated by a remote control. Remote control was NOT present at the time of the inspection. Inspector tested fireplace using manual mode. Recommend consulting with the builder regarding the location of the remote and proper operation of the fireplace prior to closing on the home.**



Tested fireplace using manual mode

☒ ☐ ☐ ☐
**K. Porches, Balconies, Decks, and Carports**

*Comments: It is beyond the scope of the inspector to report on detached structures or waterfront structures and equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exterior porches, decks, carports, etc, it is recommended a complete evaluation be conducted prior to close.*

☒ ☐ ☐ ☒
**L. Other***Materials:**Comments:*

- **Butlers pantry upper cabinet glass is scratched at various locations at the time of the inspection. Check all.**

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Left elevation of home



Right elevation of home



Rear elevation of home



View from above



Butlers pantry cabinet glass scratched

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## II. ELECTRICAL SYSTEMS

☒ ☐ ☐ ☐

### A. Service Entrance and Panels

*Panel Locations:*

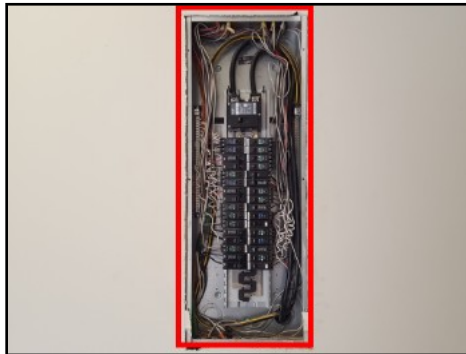
- **Main electrical panel is located in the garage**

*Materials & Amp Rating:*

- **Aluminum wiring**
- **Main panel is a Eaton -200 Amp Max**

*Comments: The inspector is not required to determine the service capacity amps, voltage capacity, or the capacity of the system relative to present or future use or requirements. The inspector is not required to conduct voltage drop calculations or determine the accuracy of the breaker labeling. The electrical service panel will be opened and inspected unless a safety hazard presents itself. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the electrical service, it is recommended a complete evaluation be conducted prior to close.*

- **Service entrance is underground**
- **All components within the main service panel appear to be properly installed and functioning as intended at the time of the inspection.**



Main electrical panel located in garage



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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**B. Branch Circuits, Connected Devices, and Fixtures***Type of Wiring:*• **Copper wiring**• **200 Amp breaker for the main electrical panel**

*Comments: Ground Fault Circuit Interrupter (GFCI) outlets are required in the garage, bathrooms, kitchen, and all exterior outlets/wet areas. If home was constructed before this rule was implemented, it is not required to upgrade but is highly recommended. Items not inspected include but are not limited to: cable, telephone, computer, speaker, photocells, low voltage, intercom systems, electric gates and doors, yard and tree lighting. Smoke detectors are tested by pressing the test button on each detector. Smoke detectors are not tested for actual "smoke" detection. Smoke alarms are not checked when a security system is in place. If items are marked in Red, marked as "Deficient", and/or should you have concern with the branch circuits or fixtures, it is recommended a complete evaluation be conducted prior to close.*

• **Doorbell operated normally at the time of the inspection.**

• **Smoke detectors were not manually tested due to the security system being present at the time of the inspection. In some cases the security company monitors the smoke detectors. Recommend changing batteries and testing the smoke detectors upon move in.**

• **GFCI receptacle covers are missing identifying sticker at the time of the inspection. Check all.**

• **Light fixtures over the showers/tubs are required to be rated for wet and/or damp areas. Inspector was not able to identify proper tag at the time of the inspection.**

• **Bulb is missing at the front elevation coach light at the time of the inspection. Recommend installing bulb and checking function of light fixture.**

• **Front porch receptacle is not properly secure in place at the time of the inspection. Check all.**

• **Light fixture/bulb is not present at the lower front attic space (over garage) at the time of the inspection.**

• **Upstairs hallway bathroom receptacle is partially blocked by mirror frame making it difficult to properly access.**



Light bulb missing at coach light



Front porch receptacle not secure



Light fixture/bulb missing



Missing sticker at GFCI receptacles



Receptacle blocked by mirror frame

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

#### ☒ ☐ ☐ ☒ A. Heating Equipment

Type of Systems:

- 2 Central Forced-Air

- Furnaces/Air Handlers are located in the lower rear left and upper attic spaces

Energy Sources:

- Natural Gas

Comments: Inspection of the HVAC equipment is by operation of system only. Checking humidifiers, electronic air filters, and proper air flow is not included in this inspection. Full evaluation of the gas heat exchanger requires dismantling of the furnace and is beyond the scope of this inspection. If the units have not been serviced in the last 12 months, we recommend having the units serviced by a licensed technician. We recommend the heating system be completely serviced before each heating season. Filters should be changed at regular intervals. Heat pump systems are not tested when ambient temperatures are above 65 degrees Fahrenheit to avoid damaging the system. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the heating equipment, it is recommended that a complete evaluation of the heating equipment be conducted prior to close.

- Furnace - Lennox

- model# = ML180UH090E60C-54

- serial# = 1718F18095

- manufacture year = 2018

- Furnace - Lennox

- model# = ML180UH070E36B-54

- serial# = 1718D14085

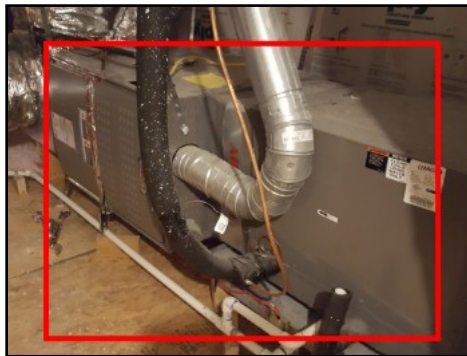
- manufacture year = 2018

- \*Visual inspection of the heating equipment components only. Did not test the furnace due to the exterior ambient temperature being above 70 degrees at the time of the inspection.

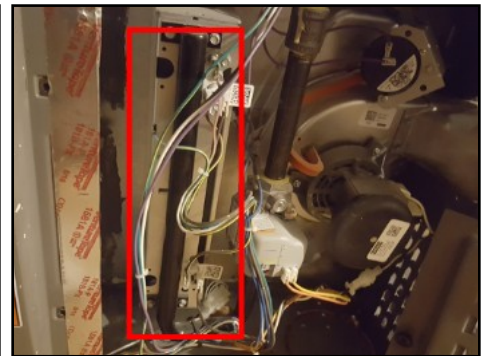
- Furnace vent pipe and storm collar is not painted at the roof covering of the home. Recommend ensuring the storm collar and roof jack nails are sealed before painting. Painting the vent material helps protect from oxidation/rust.



Vent pipe not painted



Furnace/Air handler located in lower attic space



Furnace burner ports

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Furnace/Air handler located in upper attic space



Furnace burner ports

☒ ☐ ☐ ☒

## B. Cooling Equipment

### Type of Systems:

- **2 Central Forced-Air**

- **A/C Condensing units are located on the rear left elevation of the home**

*Comments: Inspection of the HVAC equipment is by operation of system only. Testing for leaks, efficiency, or disassembling equipment are not within the scope of the inspection. Cooling equipment is not checked when the outside temperature is below 60 °F because of possible damage to the compressor. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning units are not tested. We recommend the cooling system be completely serviced before each cooling season and the primary condensate drain line be flushed with a chlorine bleach/water solution every 2 months during the cooling season to prevent clogging. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the cooling equipment it is recommended that a complete evaluation of the cooling equipment be conducted prior to close.*

- **A/C - Lennox**

- **model# = 14ACX-041-230-05**

- **serial# = 1918K51760**

- **manufacture year = 2018**

- **A/C - Lennox**

- **model# = 14ACXS030-230A23**

- **serial# = 1918K40042**

- **manufacture year = 2018**

- **Primary condensation drain lines are terminated to a bathroom vanity drain and the secondary drain lines are terminated to the exterior of the home through the soffit. If condensation is seen dripping from the secondary drain lines it is recommended to turn off the system and contact a licensed HVAC technician.**

- **Lower A/C systems were functioning/cooling as intended at the time of the inspection. Temperature readings between return air and supply registers fell between the 14-22 degree parameter. It is always recommended to have a licensed HVAC technician conduct a complete system evaluation of the HVAC equipment prior to the first use of the season. Recommend following the manufacture care and maintenance instructions.**

- **Upper A/C system was NOT cooling as intended at the time of the inspection.**

- **Temperature readings between the return air and supply registers did not fall between the 14-22 degree parameter. Average temperature difference was between 10-12 degrees. Recommend a complete system evaluation by a licensed HVAC technician prior to closing on the home.**



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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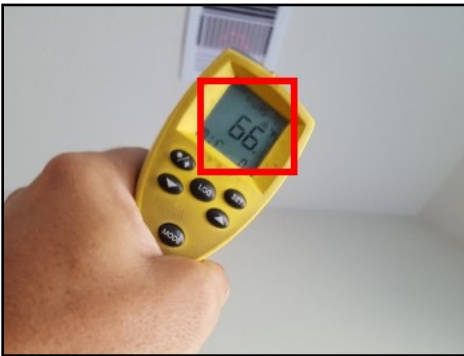
Secondary A/C drain line at rear right elevation



Secondary A/C drain line at rear elevation



Primary A/C drain line



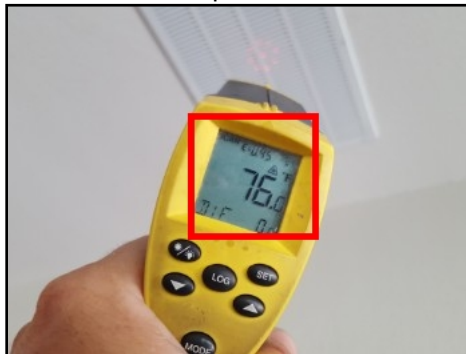
Game room supply air temperature



Upstairs bedroom supply air temperature



Upstairs bedroom supply air temperature



Upper level return air temperature

X			X
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### C. Duct System, Chases, and Vents

*Comments: The purpose of this inspection is to determine the ability of the ductwork to reasonably distribute conditioned air throughout the home. Ductwork is checked for significant visible deficiencies. Ducts that are concealed by insulation, enclosed in chases and walls are not accessible to the inspector and are not checked for damage. This is not an inspection of air quality. If items are marked in Red, marked as "Deficient", and/or you should have concern regarding the ducts and vents, it is recommended that a complete evaluation be conducted prior to close.*

- **\*Visually inspected the accessible areas of the HVAC ductwork only. HVAC media filters are located at the plenums/air handlers within the attic space. Honeywell - 20x25x4 (merv 11).**
- **HVAC media filters are dirty at the time of inspection and may be straining the system. Recommend replacing media filters upon moving in and as required/needed. Check all.**

I=Inspected

NI=Not Inspected

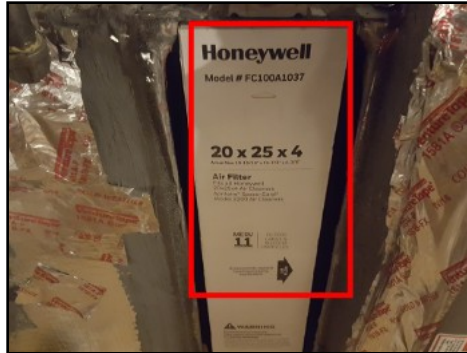
NP=Not Present

D=Deficient

I	NI	NP	D
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HVAC media filter location/hatch



HVAC media filter type/size



HVAC media filter dirty



HVAC media filter location/hatch



HVAC media filter type/size



HVAC media filter dirty

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## IV. PLUMBING SYSTEM

X			X
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## A. Plumbing Supply, Distribution Systems and Fixtures

*Location of Water Meter:*

- **Front right of property by street curb**

*Location of Main Water Supply Valve:*

- **In the garage**

*Comments: Plumbing is an important concern in any structure. Some problems may be undetectable due to being within the walls and/or underground, in floors or in the slab. Washing machine hot and cold and icemaker lines are not tested during inspection. Only visible plumbing components are inspected. Private water wells, septic systems, water softeners and filter systems are beyond the scope of this inspection. Shut off valves are not tested due to possibility of leaking or breaking after long periods of being inactive. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water supply system, it is recommended a complete evaluation be conducted prior to close.*

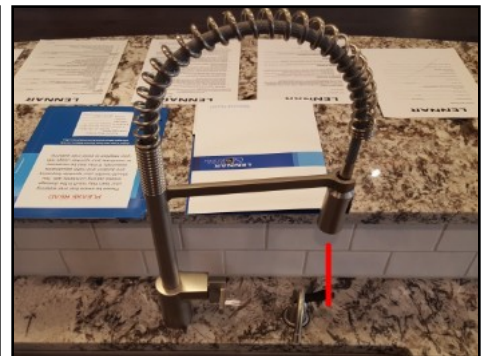
- **Type = PEX Piping**
- **Static Water Pressure Reading: Approx. 50 psi**
- **Water line to fridge is not tested during inspection for proper pressure. Recommend flushing of line upon move in. Leaks were not observed in visible areas at the time of the inspection.**
- **Operating the Hot and Cold water valves for the washing machine is not within the scope of the inspection. Leaks were not observed in the visible areas at the time of the inspection.**
- **Faucet at the kitchen sink is missing a "swing" stop, allowing faucet to rotate over the counter top. Recommend checking manufacture install requirements.**
- **There were no leaks observed at the accessible plumbing fixtures/piping at the time of the inspection.**
- **Tub deck is not properly sealed at the back side near window at the time of the inspection.**



Water meter location



Main water shut off valve



Swing stop not present



Master bathroom tub deck not sealed



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			
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**B. Drains, Wastes, and Vents**

*Comments: Drain lines for washing machines, icemakers, water conditioning systems, drain pumps or water ejection pumps are beyond the scope of this inspection. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the drains, wastes, or vents, it is recommended a complete evaluation be conducted prior to close.*

- Type = **PVC**

- Main sewer clean out is located on the exterior front left elevation of the home.

- Some areas of the drains, wastes, and vents were not accessible at the time of the inspection. Access panels are not installed to view the bathtub drain assemblies. The inspector is unable to determine the integrity of the drain lines and fittings. If possible, it is recommended to install an access panel for periodic monitoring for leaks.

- Drain for washing machine is capped/covered at the time of the inspection. Recommend having builder/plumber remove cover prior to closing on the home. Washing machine drain is not tested for flow and/or drainage. Recommend monitoring first drain cycle of washing machine.

- There were no leaks observed at the accessible plumbing drains at the time of the inspection.



Main sewer clean out



Remove cap/cover

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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## C. Water Heating Equipment

*Energy Source:*

- Water heater(s) gas powered
- Water heaters are located in the lower rear left attic space

*Capacity:*

- Unit 1 is 40 Gallon
- Unit 2 is 40 Gallon

*Comments: Emergency drain pan lines are not tested for proper drainage. The Temperature and Pressure Relief Valve(s) on water heater(s) are not operated. It is common for the valve to not properly re-seat after operation. It is advised that the Temperature and Pressure Relief Valve(s) be serviced according to the manufacturers instructions. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water heater equipment, it is recommended a complete evaluation be conducted prior to close.*

- Water Heater - Bradford White Corporation

- model# = RG240S6N

- serial# = SH41966593

- manufacture year = 2018

- Water Heater - Bradford White Corporation

- model# = RG240S6N

- serial# = SH41966585

- manufacture year = 2018

- The Temperature and Pressure Relief Valve(s) on the water heater(s) do not appear to be rusted or damaged at the time of the inspection. The **TPR Valves** are not tested at the time of the inspection due to the possibility of the valve not resetting in place. Recommend testing the valve once a year by owner or by a licensed plumber.

- Recommend following the manufacture care and maintenance instructions.

- Water heater vent pipes and storm collars are not painted at the roof covering of the home. Recommend ensuring the storm collars and roof jack nails are sealed before painting. Painting the vent material helps protect from oxidation/rust.

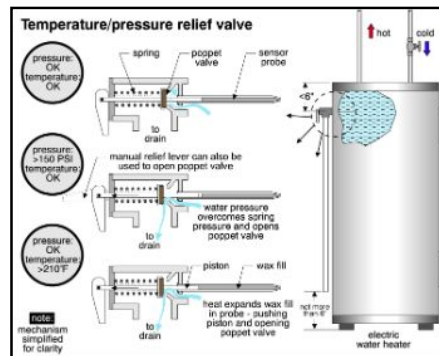
- Water heater vents are not properly secure in place within the attic space at the time of the inspection. Vents should be properly secure/strapped to rafters to deter possible disconnection and/or poor drafting. Check all.

- Water heater burner covers are not present at the time of the inspection.

- Debris found in the water heater drain pan and should be removed so not to clog drain line. Check all.



Drain line termination at rear left elevation



TPR Valve operation



Vent pipes not painted

I=Inspected

NI=Not Inspected

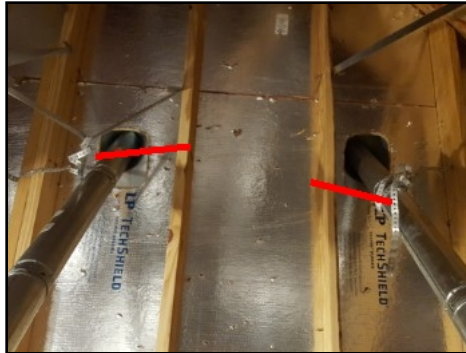
NP=Not Present

D=Deficient

I NI NP D



Water heaters located in lower attic space



Vents not properly secure to rafters



Burner covers not present



Debris in water heater drain pan

☐ ☒ ☒ ☐
**D. Hydro-Massage Therapy Equipment**

*Comments: Do not leave small children unattended in the unit or tub. Intake ports can have high suction which may catch hair and draw it into the intake/suction port, resulting in drowning. Hydro-Massage tubs, if not properly cleaned and maintained, can be the source of microbial and bacterial growth. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the equipment, it is recommended a complete evaluation be conducted prior to close.*

- A Hydro-Massage Therapy Tub was not present at the time of the inspection.

☒ ☐ ☐ ☒
**E. Other**

*Comments: This is not a gas line pressure inspection or pressure test. Many of gas supply lines are buried underground or located in walls and buried under insulation. Inspector notes gas leaks and improper installation at accessible gas supply connections and or shut off valves. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the gas supply, it is recommended a complete evaluation be conducted prior to close.*

- **\*Visual inspection of the Gas supply components only.**
- **Main gas meter and shut off valve is located on the left elevation of the home.**
- **Upper attic furnace gas line connector is blocking access to safely removing/replacing the HVAC media filter at the time of the inspection. Recommend evaluation/repair by a licensed Plumber prior to closing on the home.**



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Gas meter and main shut off valve



Gas line blocking HVAC media filter

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## V. APPLIANCES

☒ ☐ ☐ ☐

## A. Dishwashers

*Comments: Units are inspected in normal wash cycle only. We recommend operating the dishwasher in other cycles prior to closing. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dishwasher, it is recommended that a complete evaluation be conducted prior to close.*

- Dishwasher = Electrolux
- model# = EI24ID81SS3A
- serial# = KH90222961
- Dishwasher functioned as intended at the time of the inspection. Dishwasher was ran through a complete cycle and leaks were not present. Recommend following the manufacture care and maintenance instructions.

☒ ☐ ☐ ☐

## B. Food Waste Disposers

*Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the food waste disposer, it is recommended a complete evaluation be conducted prior to close.*

- Disposer = Badger
- model# = 1-87
- serial# = 18101457231
- Food Waste Disposer operated normally at time of the inspection. Recommend following the manufacture care and maintenance instructions.

☒ ☐ ☐ ☒

## C. Range Hood and Exhaust Systems

*Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range exhaust vent, it is recommended that a complete evaluation be conducted prior to close.*

- Vent Hood = Broan
- model# = PM390-HS
- serial# = 10 19 00820
- Range hood is present and appears to be functioning as intended at time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Light bulbs are not present at the time of the inspection. Recommend replacing and testing function prior to closing on the home.



Light bulbs not present

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☒ ☐ ☐ ☒
**D. Ranges, Cooktops, and Ovens**

*Comments: Timers and clocks on ovens, ranges, and other household appliances are not checked for accuracy over long term operation. Self-cleaning cycle is not tested due to the extensive time necessary for operation. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range and cooktop, it is recommended that a complete evaluation be conducted prior to close.*

- Double Oven = Electrolux
- model# = EI30EW48TSA
- serial# = AF81404648
- The Double Oven is electric.
- Cooktop = Electrolux
- model# = EW36GC55PS2
- serial# = 3F83404459
- The Cooktop is gas powered.
- The service valve for the cooktop gas line is located beneath the unit.
- The cooktop functioned as intended at the time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Lower trim cover for the double oven is not present at the time of the inspection.
- Ovens are not functioning/heating as intended at the time of the inspection. Ovens were set for 350 degrees, temperature reading on control panel reached a max 100 degrees. Recommend a complete system evaluation by an appliance technician prior to closing on the home.



Gas line service valve is beneath unit



Lower trim cover not present

☒ ☐ ☐ ☐
**E. Microwave Ovens**

*Comments: Microwaves are tested for heating only using normal operating controls. Microwaves are not tested for leaks and/or efficiency. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the microwave, it is recommended that a complete evaluation prior to close.*

- Microwave = Electrolux
- model# = EI24MO45IBCY
- serial# = 9G84101678
- Microwave Oven operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

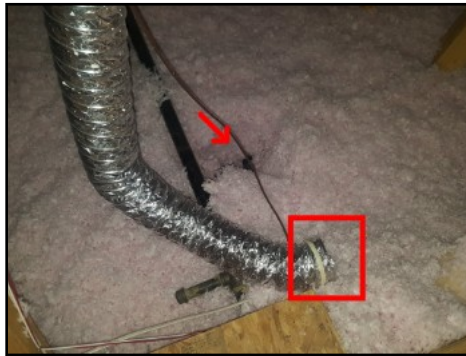
I NI NP D

X			X
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**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments: Exhaust fans must discharge to the building exterior through a proper exhaust vent dampered/weather protected hood. Terminating exhaust vents in attic is prohibited. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exhaust fans, it is recommended that a complete evaluation be conducted prior to close.*

- Exhaust fans functioned as intended at the time of the inspection. Bathroom heaters were not present at the time of the inspection.
- Exhaust fan duct within the upper attic space is not properly secure to fan motor at the time of the inspection. All exhaust ducts should terminate to the exterior either through the roof covering or a sidewall. Check all.



Exhaust fan duct not connected

X			
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**G. Garage Door Operators**

*Door Type:*

- Sectional doors

*Comments: It is important to keep all safety/pressure sensitivity components in proper adjustment and in good working order. Units should have electric eye sensors. It is recommended that you consider upgrading your unit if these are not present. Recommend reprogramming remote door opening controls upon move in. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the garage door system, it is recommended that a complete evaluation be conducted prior to close.*

- Garage door openers operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Eye beam systems are present and operating as intended at the time of the inspection.

X			X
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**H. Dryer Exhaust Systems**

*Comments: Interior of vent pipes are not within the scope of an inspection, and are not tested for air flow. Inspection of Dryer Vent is of visual components only. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dryer vent, it is recommended that a complete evaluation be conducted prior to close.*

- \*Visually inspected accessible areas of the dryer vent only. Dryer exhaust flow is not tested. Vent terminates at the exterior rear left elevation of the home. Recommend periodically cleaning lint from dryer vent pipe.
- Dryer vent damper is blocked by large hornets nest at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Dryer vent termination



Damper blocked/Hornets nest present

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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### I. Other

Comments:

- Refrigerator, washing machine, and/or dryer were not present at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## VI. OPTIONAL SYSTEMS

X			X
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**A. Landscape Irrigation (Sprinkler) Systems**

*Comments: Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. If the sprinkler system is inspected as part of this inspection, system is tested in the manual mode only. Water spray from the sprinkler system should be directed away from the structure and any decks, fences, or outbuildings. It is unknown if a check valve is installed at the water meter to prevent the sprinkler water from entering the main potable water system. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the sprinkler system, it is recommended a complete evaluation be conducted prior to close.*

- **Sprinkler Control Box = Rain Bird**

- **Zones = 9 (irrigation zones not mapped/labeled)**

- **The irrigation main shut off valve and homeowner service valves/anti-siphon device are located on the right elevation of the home. The irrigation control panel is located in the garage.**

- **Testing the rain sensor is beyond the scope of the inspection.**

- **Coverage of sprinkler heads next to structure, driveway, sidewalks, and fencing should be adjusted so they do not spray directly on these areas.**

- **Possible leak present at the rear left elevation irrigation valves at the time of the inspection. Recommend complete system evaluation by a licensed technician prior to closing on the home. Check all.**



Main irrigation shut off valve



Homeowner service valves/anti-siphon device



Rain sensor not tested



Sprinkler spraying structure



Sprinkler spraying structure



Possible leak at rear left valve



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☐ ☒ ☒ ☐
**B. Swimming Pools, Spas, Hot Tubs, and Equipment***Type of Construction:**Comments: If the swimming pool is inspected as part of this inspection, the swimming pool timers are inspected in the manual mode only.*

- Pool and or spa are not present at the time of the inspection.

☐ ☒ ☒ ☐
**C. Outbuildings***Materials:**Comments:*

- Out buildings are not present at the time of the inspection.

☐ ☒ ☒ ☐
**D. Private Water Wells (A coliform analysis is recommended)***Type of Pump:**Type of Storage Equipment:**Comments: If a private water well is present, a coliform analysis is recommended.*

- Water well is not present at the time of the inspection.

☐ ☒ ☒ ☐
**E. Private Sewage Disposal (Septic) Systems***Type of System:**Location of Drain Field:**Comments:*

- Septic system is not present at the time of the inspection.

☐ ☒ ☐ ☐
**F. Other***Comments:*

- Low voltage wiring and/or stereo equipment located at various locations of the home and attic space are not within the scope of this inspection. Recommend consulting with the builder regarding proper operation and maintenance schedule.
- Alarm and/or security system is not within the scope of this inspection. Recommend consulting with the builder regarding proper operation and maintenance schedule.



Not within scope of inspection



Not within scope of inspection



Not within scope of inspection

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Not within scope of inspection

## Report Summary

**STRUCTURAL SYSTEMS**

Page 4 Item: A	Foundations	<ul style="list-style-type: none"> <li>• Post tension cable is not properly sealed at the left and rear left elevation foundation wall. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables. Check all.</li> </ul>
Page 5 Item: B	Grading & Drainage	<ul style="list-style-type: none"> <li>• Missing splash blocks at the gutter down spouts at various locations of the home at the time of the inspection. Check all.</li> <li>• Evidence of excessive moisture and/or standing water was observed at the rear right and rear left of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: additional gutters, improved swale, surface drains, french drains, or sub surface drains.</li> <li>• Gutters have debris that can possibly clog the gutter down spout and cause moisture penetration. Recommend periodically cleaning all gutters so that water is diverted away from structure as intended.</li> </ul>
Page 6 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> <li>• Observed vegetation debris such as leaves and/or pine needles on the roof covering that should be removed as needed. Check all.</li> <li>• Polyurethane roof jacks are buckled at various locations of the roof covering at the time of the inspection. Buckled roof jacks can hold water and cause deterioration/leaks. Check all.</li> </ul>
Page 8 Item: D	Roof Structures and Attics	<ul style="list-style-type: none"> <li>• Ridge brace was not present over the 5' garage extension area at the time of the inspection.</li> <li>• Seal hole in lower rear right attic exterior sidewall OSB material. Check all.</li> <li>• Several pieces of batts insulation were missing and/or not properly secure in place within the attic space. Replacing missing insulation so that all areas have an equal R-value has proven to save energy. Check all.</li> </ul>
Page 9 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> <li>• Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and A/C refrigerant lines. Check all.</li> <li>• Moisture stains and damage is present at the garage walls and load bearing beam. Higher than normal moisture reading is present at these locations at the time of the inspection. It is recommended to consult with the builder regarding previous leaks/repairs made in this area and if leak test was conducted. Observed what appears to be mildew growth at lower baseboard. Recommend removing drywall/insulation and cleaning this area with a mixture of bleach and water and allowing to air dry. Monitor for future leaks and/or growth of mildew. If mildew surfaces it is recommended to contact the builder and a mildew/mold specialist.</li> </ul>
Page 10 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> <li>• Moisture stains and damage is present at the garage walls and load bearing beam. Higher than normal moisture reading is present at these locations at the time of the inspection. It is recommended to consult with the builder regarding previous leaks/repairs made in this area and if leak test was conducted. Recommend removing drywall/insulation and cleaning this area with a mixture of bleach and water and allowing to air dry. Monitor for future leaks and/or growth of mildew. If mildew surfaces it is recommended to contact the builder and a mildew/mold specialist.</li> <li>• Floor pops and/or squeaks are present at upstairs flooring. This can sometimes be repaired by pulling floor covering back and securing floor decking. Check all.</li> </ul>



Page 11 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> <li>• Seal exterior door thresholds and at bottom of door jambs/trim to limit moisture/insect intrusion. Check all.</li> <li>• Observed gap at the lower strike side of the back door when closed. Recommend adjusting the weatherstripping and/or door to close gap.</li> <li>• Missing weatherstripping at the garage door at the time of the inspection.</li> <li>• Door rubs on frame/jamb and is difficult to open and close at the upstairs front elevation bedroom at the time of the inspection. Check all.</li> </ul>
Page 12 Item: H	Windows	<ul style="list-style-type: none"> <li>• Observed missing screen at the upper rear left elevation of the home at the time of the inspection. Check all.</li> <li>• Vinyl window weep hole covers are missing, damaged (missing flapper), and/or blocked with mortar at various locations of the home. Check all.</li> <li>• Windows at the rear elevation wall of the morning area are not properly latching at the time of the inspection. Check all.</li> <li>• Upstairs rear left elevation bedroom window sash track is not properly secure in place at the time of the inspection. Check all.</li> </ul>
Page 13 Item: I	Stairways (Interior and Exterior)	<ul style="list-style-type: none"> <li>• The staircase spindle bases are not installed in proper place and/or not properly secure in place at the time of the inspection. Check all.</li> </ul>
Page 14 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> <li>• Fireplace has a glass front and is operated by a remote control. Remote control was NOT present at the time of the inspection. Inspector tested fireplace using manual mode. Recommend consulting with the builder regarding the location of the remote and proper operation of the fireplace prior to closing on the home.</li> </ul>
Page 14 Item: L	Other	<ul style="list-style-type: none"> <li>• Butlers pantry upper cabinet glass is scratched at various locations at the time of the inspection. Check all.</li> </ul>

## ELECTRICAL SYSTEMS

Page 17 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> <li>• Bulb is missing at the front elevation coach light at the time of the inspection. Recommend installing bulb and checking function of light fixture.</li> <li>• Front porch receptacle is not properly secure in place at the time of the inspection. Check all.</li> <li>• Light fixture/bulb is not present at the lower front attic space (over garage) at the time of the inspection.</li> <li>• Upstairs hallway bathroom receptacle is partially blocked by mirror frame making it difficult to properly access.</li> </ul>
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## HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 18 Item: A	Heating Equipment	<ul style="list-style-type: none"> <li>• Furnace vent pipe and storm collar is not painted at the roof covering of the home. Recommend ensuring the storm collar and roof jack nails are sealed before painting. Painting the vent material helps protect from oxidation/rust.</li> </ul>
Page 19 Item: B	Cooling Equipment	<ul style="list-style-type: none"> <li>• Upper A/C system was NOT cooling as intended at the time of the inspection. Temperature readings between the return air and supply registers did not fall between the 14-22 degree parameter. Average temperature difference was between 10-12 degrees. Recommend a complete system evaluation by a licensed HVAC technician prior to closing on the home.</li> </ul>
Page 21 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none"> <li>• HVAC media filters are dirty at the time of inspection and may be straining the system. Recommend replacing media filters upon moving in and as required/needed. Check all.</li> </ul>

## PLUMBING SYSTEM

Page 22 Item: A	Plumbing Supply, Distribution Systems and Fixtures	<ul style="list-style-type: none"> <li>• Tub deck is not properly sealed at the back side near window at the time of the inspection.</li> </ul>
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Page 24 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> <li>• Water heater vent pipes and storm collars are not painted at the roof covering of the home. Recommend ensuring the storm collars and roof jack nails are sealed before painting. Painting the vent material helps protect from oxidation/rust.</li> <li>• Water heater vents are not properly secure in place within the attic space at the time of the inspection. Vents should be properly secure/strapped to rafters to deter possible disconnection and/or poor drafting. Check all.</li> <li>• Water heater burner covers are not present at the time of the inspection.</li> <li>• Debris found in the water heater drain pan and should be removed so not to clog drain line. Check all.</li> </ul>
Page 25 Item: E	Other	<ul style="list-style-type: none"> <li>• Upper attic furnace gas line connector is blocking access to safely removing/replacing the HVAC media filter at the time of the inspection. Recommend evaluation/repair by a licensed Plumber prior to closing on the home.</li> </ul>

**APPLIANCES**

Page 27 Item: C	Range Hood and Exhaust Systems	<ul style="list-style-type: none"> <li>• Light bulbs are not present at the time of the inspection. Recommend replacing and testing function prior to closing on the home.</li> </ul>
Page 28 Item: D	Ranges, Cooktops, and Ovens	<ul style="list-style-type: none"> <li>• Lower trim cover for the double oven is not present at the time of the inspection.</li> <li>• Ovens are not functioning/heating as intended at the time of the inspection. Ovens were set for 350 degrees, temperature reading on control panel reached a max 100 degrees. Recommend a complete system evaluation by an appliance technician prior to closing on the home.</li> </ul>
Page 29 Item: F	Mechanical Exhaust Vents and Bathroom Heaters	<ul style="list-style-type: none"> <li>• Exhaust fan duct within the upper attic space is not properly secure to fan motor at the time of the inspection. All exhaust ducts should terminate to the exterior either through the roof covering or a sidewall. Check all.</li> </ul>
Page 29 Item: H	Dryer Exhaust Systems	<ul style="list-style-type: none"> <li>• Dryer vent damper is blocked by large hornets nest at the time of the inspection.</li> </ul>

**OPTIONAL SYSTEMS**

Page 31 Item: A	Landscape Irrigation (Sprinkler) Systems	<ul style="list-style-type: none"> <li>• Possible leak present at the rear left elevation irrigation valves at the time of the inspection. Recommend complete system evaluation by a licensed technician prior to closing on the home. Check all.</li> </ul>
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