

Southern Star Inspections, LLC

Property Inspection Report



1234 Texas Ave., Cypress, TX 77433

Inspection prepared for: John Doe

Real Estate Agent: -

Date of Inspection: 1/21/2020 Time: 8:30 AM

Age of Home: 2020 Size: 4400 sqft

Weather: Sunny

Home is a two story with an attached four car garage. Client present at completion of inspection.

Inspector: Travis Kepp

License #20608

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www.SouthernStarInspections.com



PROPERTY INSPECTION REPORT

Prepared For: John Doe
(Name of Client)

Concerning: 1234 Texas Ave., Cypress, TX 77433
(Address or Other Identification of Inspected Property)

By: Travis Kepp, License #20608 1/21/2020
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Important Reminders:

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, **we are still available to you for any questions you may have.**

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection **may be limited** by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **This report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

Note: All directions given in this report (i.e. left, right, front, rear) are to be taken as if standing on the street facing the front of the building or, when appropriate, the system or component being inspected. Stored items, furniture, personal belongings, vehicles, etc. all obscure and impede the inspections process. When any of these items are present, client should assume that portions of the structure, systems and components were probably concealed or otherwise overlooked. Client should not assume that every deficiency was identified, recognized, or otherwise reported.

What We Inspect:

A Home Inspection is a **non-invasive visual examination** of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and **not the prediction of future conditions.**

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect..

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. **Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.**

This is NOT a Wood Destroying Insect Inspection. If requested, Southern Star Inspections provides reputable wood destroying insect inspectors for the client to contact for more information regarding their services.

Summary page info:

On the Summary Page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. **If items are marked RED and/or "deficient", we recommend an evaluation of the entire system by a qualified technician or professional.** The complete list of items noted is found throughout the body of the report, including Normal Maintenance items.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If any area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not guarantee the integrity of any work that was done without a permit. Depending upon your needs and those who will be on this property, items listed in the **body** of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

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A. Foundations

Type of Foundation(s):

• Slab on Grade - Post Tension Cable

Comments: This inspection is a visual review of the foundation and represents the opinion of the inspector, based solely on the inspector's personal experience with similar homes. The inspector does not pull up floor coverings, move furniture, measure elevations or propose repairs. The inspector does not enter crawl space areas less than 18". Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Homes built with slab and/or post tension cable foundation construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to visually inspect these items, they are specifically excluded from the scope of this inspection. The opinion stated below in no way addresses future foundation movement or settlement. If items are marked in Red, marked as "Deficient", and/or you should you have any concern regarding the foundation, it is recommended you have a complete evaluation prior to close.

• Performance Opinion:

***IT IS IN MY OPINION** that at the time of this inspection the visible areas of the foundation appears to be supporting the structure and immediate significant repair needs are not evident. The structure should be monitored for signs of differential foundation settlement, with corrective measures taken if excessive settlement occurs. Weather conditions, drainage and other adverse factors can effect structures and differential movements of foundations can occur because of them. The inspectors opinion is based on visual observations of accessible and un-obstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted by the inspector.

• Wood expansion board is present at the rear elevation columns at the time of the inspection. Recommend removing so not to attract wood destroying insects.

• Foundation wall is chipped in the garage at the time of the inspection. This is primarily cosmetic and it is recommended to repair with a non-shrinking epoxy grout/mortar. Monitor for excessive movement.

• Shrinkage cracks are present within the garage foundation. Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. The cracks/fractures were tight and free of differential movement (no vertical displacement). These are primarily cosmetic and can be sealed to prevent water intrusion. Recommend monitoring for excessive movement.



Remove wood at rear left column



Foundation chipped at garage wall



Hairline cracks in garage

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X			X
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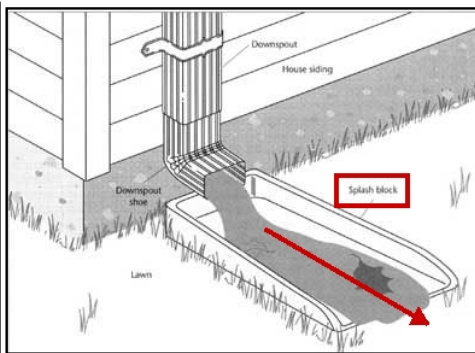
B. Grading & Drainage

Comments: Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. It is advisable to maintain at least four inches of clear area between the ground and masonry and six inches of clearance between ground and wood siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches per 10 feet. Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. Determining flood plains is beyond the scope of this inspection. The seller/builder may have more information concerning this subject. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the Grading or Drainage, it is recommended you have a complete evaluation of the drainage system prior to close.

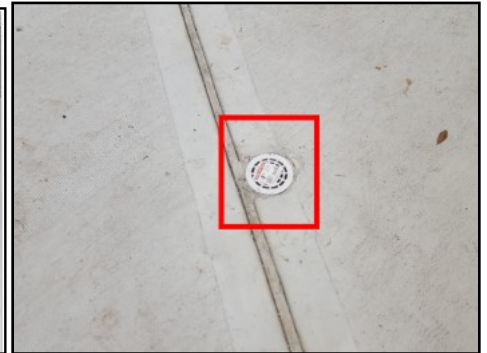
- **Partial gutter system is installed at time of inspection. Gutters are essential in preserving the integrity of the foundation and grading around it. Gutters help divert storm water away from the foundation in a uniform manor. Recommend installing a full home gutter system and removing debris from gutters periodically so that moisture can be diverted away from foundation walls.**
- **Recommend open end of splash block be placed away from the home to deter standing water. Check all.**
- **Gutter downspouts are connected directly to below grade drainage pipe. Termination location is unknown. It is beyond the scope of the inspection to determine if they drain and flow properly.**
- **Subsurface and/or french drains are present at time of inspection. Determining if these drains are acting as intended and/or serviceable is beyond the scope of the inspection. Recommend keeping these drain covers free of debris and grass clippings.**
- **Excessive moisture and/or standing water was observed at the left of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: additional gutters, improved swale, surface drains, french drains, or sub surface drains.**
- **Gutters have construction and/or vegetation debris present that can possibly clog the gutter down spouts and cause moisture penetration. Recommend periodically cleaning all gutters so that water is diverted away from structure as intended. Check all.**



Open end away from structure



Splash block



Keep drains free of debris

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I NI NP D



Excessive moisture at left elevation



Construction debris present



Vegetation debris present

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C. Roof Covering Materials

Type(s) of Roof Covering:

- Asphalt shingles

Viewed From:

- Accessible areas of the roof

Comments: As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing on the home. The inspector does not speculate on the remaining life expectancy of the roof covering. This inspection does not address future leaks nor does it certify that the roof is leak-free at time of the inspection. Adequate attic ventilation, solar/wind exposure, and organic debris all affect the life expectancy of a roof. The inspector did not determine the roof shingle fastener pattern by lifting a random sampling of shingles. It has been determined that lifting roof shingles can cause damage. Non accessible roofing surfaces are inspected from the ground with binoculars and attic only. Tiled roofing surfaces are not walked on. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof covering material, it is recommended that you have a complete evaluation of the roof covering system prior to close.

- Maintenance of roof covering is necessary on an annual or semi-annual basis. This generally consists of replacing loose or missing shingles, replacing ridge caps, and sealing exposed nails as necessary. Life expectancy of a composition roof can range from 15 - 25 years, depending on the quality of the material. Shingles labeled as 30-40 year life expectancy, last approximately 20-25 years in the Houston area. It is best to replace a roof when signs of cracking, curling edges, brittle shingles, or signs of granular loss are observed.

- Construction/mud debris present at various locations of the roof covering at the time of the inspection. Check all.

- Damaged/torn shingle at the front elevation of the roof covering at the time of the inspection. Damaged shingles should either be properly sealed and or replaced to deter moisture intrusion and or further damage. Check all.



Debris/mud on roof covering



Debris/mud on roof covering



Debris/mud on roof covering

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Damaged/torn shingle

X			X
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D. Roof Structures and Attics

Approximate Average Depth of Insulation:

- **Insulation is approx. 14-16 inches deep**

Approximate Average Thickness of Vertical Insulation:

- **Unknown Depth. The inspector is unable to determine the depth of the insulation behind drywall**

Comments: Not all areas of an attic are visible due to lack of access. This is a limited inspection of what can be viewed from a safe platform. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof structure, it is recommended you have a complete evaluation of the roof structure prior to close.

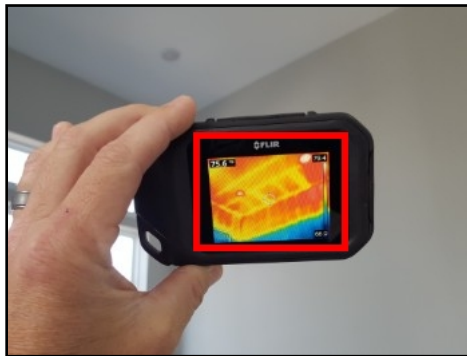
- **Viewed From: Accessible Areas of the Attic**

• **Some framing members within the garage and attic space of the home are not accessible and/or visible for inspection. From the accessible attic space, the roof structure appeared to be constructed and functioning as intended at the time of the inspection.**

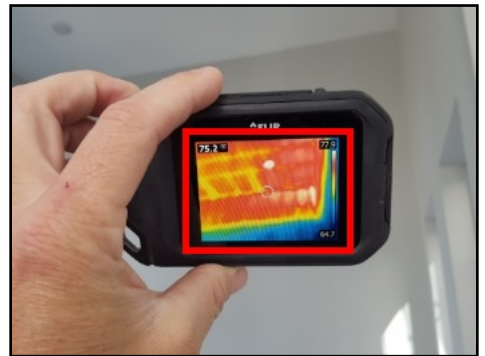
• **Access to the attic space above the study is not present at the time of the inspection. An attic that is greater than 30 sqft and has at least 30-inches of headroom should be readily accessible. Inspector observed higher than normal temperature difference at this location using thermal imaging camera. It appears batts and/or blown-in insulation is not installed within this attic space. Installing insulation so that all areas have an equal R-value has proven to save energy.**



Access to attic space not present



Evidence of temperature difference study ceiling/walls



Evidence of temperature difference study ceiling/walls

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I NI NP D

X			X
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E. Walls (Interior and Exterior)**Wall Materials:**

- Exterior walls are Stucco/Stone/Siding Material

- Interior walls are made of Drywall

Comments: All exposed walls will be inspected. Furniture, personal items, and stored items are not moved by the inspector during the inspection. It is beyond the inspectors scope to determine the condition of the wall coverings except as they pertain to structural performance or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. All siding, but especially composition or hardboard siding must be closely monitored and seams must remain sealed (especially the lower courses at ground level). If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the walls, it is recommended a complete evaluation be conducted prior to close.

- Minor caulk and paint touch ups needed at exterior of the home. Recommend sealing all gaps and/or voids in siding material. All exposed nail heads securing siding material to structure should be sealed as needed. Check all.

- Seal around all gaps of electrical and/or plumbing penetrations through cabinets and walls so not to lose conditioned air. Some areas include but not limited to: around plumbing pipes in cabinets, at electrical outlets and fixtures, vents.

- Minor drywall repair and paint touch ups are needed at various locations of the home. Check all.

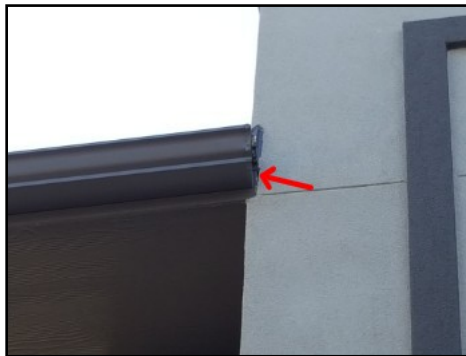
- Seal all gaps where the exterior cladding material intersects with one another to deter moisture and insect intrusion. Some areas include but not limited to: exterior siding to stucco, stone to stucco. Check all.

- Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and A/C refrigerant lines. Check all.

- Seal all corners of shower tile and where tile meets tub/shower pan as needed. Recommend sealing around all plumbing fixtures in showers and tubs. Check all.



Seal material intersections



Seal material intersections



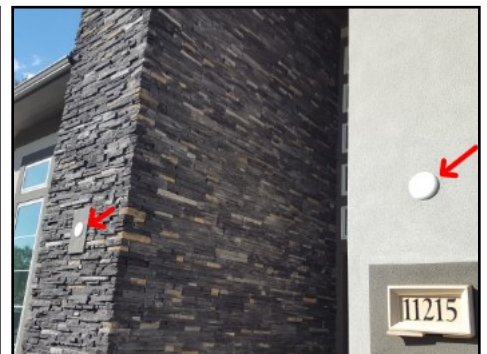
Seal material intersections



Seal material intersections



Seal all exterior penetrations



Seal all exterior penetrations

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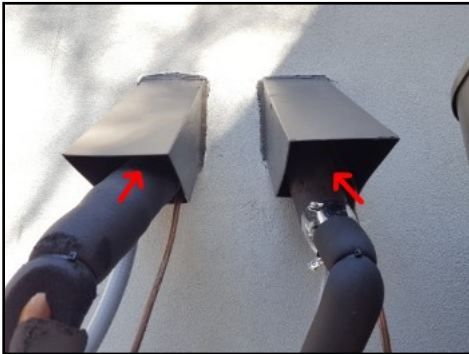
I	NI	NP	D
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Seal all exterior penetrations



Repair stucco/Seal penetration



A/C refrigerant lines not foam sealed



Seal all exterior penetrations



Seal all exterior penetrations



Seal all exterior penetrations



Seal all exterior penetrations



Drywall/paint touch ups needed



Seal shower corners/Intersections



Seal shower corners/Intersections

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I NI NP D

X			X
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F. Ceilings and Floors*Ceiling & Floor Materials:*• **Ceiling is Drywall**• **Flooring is Carpet/Tile**

Comments: Not all interior floors are visible and/or accessible as they may be obstructed by floor coverings, furniture, stored items, construction debris, etc. It is beyond the scope of this inspection to remove any floor covering. The inspection is not required to determine the condition of the interior ceiling or floor covering except as they pertain to the structural performance and/or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the ceilings and floors, it is recommended a complete evaluation of the ceilings and floors be conducted prior to close.

• **Minor drywall repair and paint touch ups needed at the ceiling throughout the home. Check all.**

• **Carpet flooring is not properly secure in place at the upstairs landing. This can be considered a trip hazard and is in need of repair. Check all.**



Carpet not secure at upstairs landing

X			X
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G. Doors (Interior and Exterior)

Comments: It is common in the course of climate changes that some doors may bind mildly or that the latches may need adjustment. We recommend having all locks re-keyed after closing and before moving in to your new home. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the doors, it is recommended that a complete evaluation be conducted prior to close.

• **Recommend keeping exterior door thresholds and bottom of door jambs/trim sealed to limit moisture/insect intrusion. Check all.**

• **Recommend boring holes on strike side of the back and exterior courtyard doors to enable deadbolts to fully engage. Check all.**

• **Missing weatherstripping at the back door at the time of the inspection. Check all.**

• **Flush bolt at the back door is not functioning/unlocking as intended at the time of the inspection. Missing trim cover. Check all.**

• **Exterior door glass insert screw caps/covers are not present at the time of the inspection. Check all.**

• **Exterior door leading to the courtyard does not close tightly at the time of the inspection. Recommend adjusting doors so they are tight against strike plate when closed. Check all.**

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Keep door thresholds/jambs sealed



Seal rear elevation threshold



Missing weatherstripping at back door



Flush bolt inoperable at back door



Missing screw caps/covers at back door



Courtyard door not closing tight



Bore deadbolt hole

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H. Windows

Window Types:

- Window frames are made of Vinyl
- Windows are Single Hung

Comments: Inspection of storm windows, awnings, shutters, or other security device is beyond the scope of the inspector. Double pane window seals may be broken without having a visible amount of condensation build-up between the panes. Obviously fogged windows are noted when observed but a complete inspection is not possible due to some light conditions, installed screens, dirt on surfaces and/or rain at time of inspection. Recommend periodically sealing around all interior and exterior windows to deter moisture and insect intrusion. If items are marked in Red, marked "Deficient", and/or should you have concern regarding the windows, it is recommended that a complete evaluation of the windows be conducted prior to close.

- Windows that were tested functioned as intended at the time of the inspection. Recommend sealing around all interior and exterior windows to deter moisture and insect intrusion as needed. Check all.

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I NI NP D

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I. Stairways (Interior and Exterior)

Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the stairways, it is recommended that a complete evaluation of the stairways be conducted prior to close.

- **Stair treads and risers were installed and acting as intended at time of the inspection.**

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J. Fireplaces and Chimneys

Locations:

- **Fireplaces are located at the front Courtyard and in the Living Room**

Types:

- **Natural Gas**
- **Fireplaces are prefabricated**

Comments: It is beyond the scope for the inspector to test the Fireplace/Chimney for proper draft, conduct a smoke test or verify the integrity of the flue. The inspector is required to perform an inspection on the visible components of the fireplace/chimney only. Freestanding wood burning stoves are beyond the scope of the inspector. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the fireplace and chimney, it is recommended that a complete evaluation of the fireplace and chimney be conducted prior to close by a qualified contractor.

- **Front elevation courtyard fireplace has is operated by a switch on the wall. Switch was used to test fireplace and is operating as intended at the time of the inspection.**
- **Living room fireplace has a glass front and is operated by a remote control. Remote control was used to test fireplace and is operating as intended at the time of the inspection.**



Fireplace operated by switch on wall



Fireplace operated by remote control

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K. Porches, Balconies, Decks, and Carports

Comments: It is beyond the scope of the inspector to report on detached structures or waterfront structures and equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exterior porches, decks, carports, etc, it is recommended a complete evaluation be conducted prior to close.

- **Siding and/or siding trim material is not sealed/painted at the upper front porch at the time of the inspection. Check all.**

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D=Deficient

I NI NP D



Siding material not painted at front porch

X			X
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L. Other

Materials:

- Flatwork
- Fence
- Granite

Comments:

- Driveway flatwork expansion joint is not cut/properly removed at the front elevation of the home at the time of the inspection. Check all.
- Fence picket is missing at the rear left elevation of the property at the time of the inspection. Check all.
- Soap dispenser or cover/cap is not present at the kitchen countertop at the time of the inspection.



Right elevation of home



Left elevation of home



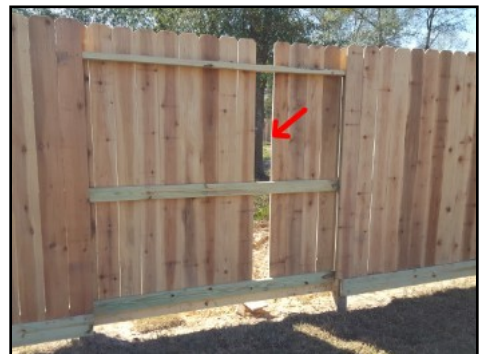
Rear elevation of home



Flatwork expansion joint not removed



View from above



Missing fence picket at rear left elevation

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Missing decorative cap/cover

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

☒ ☐ ☐ ☐

A. Service Entrance and Panels

Panel Locations:

- **Main electrical panel is located in the garage**

Materials & Amp Rating:

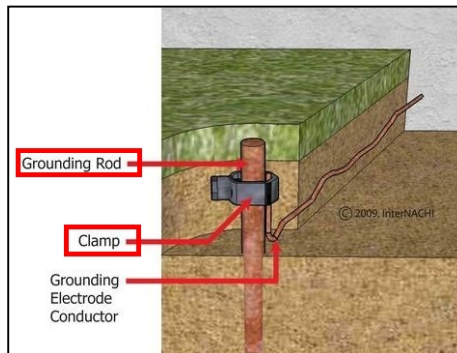
- **Aluminum wiring**
- **Main panel is a Eaton -225 Amp Max**

Comments: The inspector is not required to determine the service capacity amps, voltage capacity, or the capacity of the system relative to present or future use or requirements. The inspector is not required to conduct voltage drop calculations or determine the accuracy of the breaker labeling. The electrical service panel will be opened and inspected unless a safety hazard presents itself. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the electrical service, it is recommended a complete evaluation be conducted prior to close.

- **Service entrance is underground**
- **Ground rod is not flush with grade. Recommend lowering so that a total of 8' is in contact with grading.**
- **Remove temporary meter and temporary pole from the rear left elevation of property prior to closing on the home.**



Ground rod not flush with grade



Rod flush with grade



Main electrical panel located in garage



Remove temporary meter and pole

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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B. Branch Circuits, Connected Devices, and Fixtures*Type of Wiring:*• **Copper wiring**• **200 Amp breaker for the main electrical panel**

Comments: Ground Fault Circuit Interrupter (GFCI) outlets are required in the garage, bathrooms, kitchen, and all exterior outlets/wet areas. If home was constructed before this rule was implemented, it is not required to upgrade but is highly recommended. Items not inspected include but are not limited to: cable, telephone, computer, speaker, photocells, low voltage, intercom systems, electric gates and doors, yard and tree lighting. Smoke detectors are tested by pressing the test button on each detector. Smoke detectors are not tested for actual "smoke" detection. Smoke alarms are not checked when a security system is in place. If items are marked in Red, marked as "Deficient", and/or should you have concern with the branch circuits or fixtures, it is recommended a complete evaluation be conducted prior to close.

• **Doorbell operated normally at the time of the inspection.**

• **Smoke detectors were not manually tested due to the security system being present at the time of the inspection. In some cases the security company monitors the smoke detectors. Recommend changing batteries and testing the smoke detectors upon move in.**

• **GFCI receptacle covers are missing identifying sticker at the time of the inspection. Check all.**

• **Light fixtures over the showers/tubs are required to be rated for wet and/or damp areas. Inspector was not able to identify proper tag at the time of the inspection.**

• **GFCI (ground fault circuit interrupter) receptacles at the outdoor kitchen are not functioning/resetting at the time of the inspection. Ground Fault Circuit Interrupter (GFCI) receptacles are required in all wet areas. Required areas include: exterior, garage, kitchen backsplash, and bathrooms. Check all.**

• **Missing receptacle cover plate within the garage at the time of the inspection. Check all.**

• **Receptacles are not present at the right and left side of the kitchen island left at the time of the inspection.**

• **Light bulb is missing at the dining room light fixture at the time of the inspection. Recommend installing bulb and checking function of light fixture prior to closing on the home. Check all.**

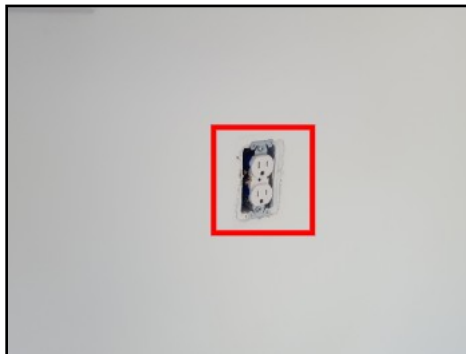
• **Four way circuit/switches for the main kitchen lights are not wired properly at the time of the inspection. Switches have to be in a certain position for the other to function. These switches should be able to work independently of one another.**

• **The living room fan excessively wobbled/shook when operated at the time of the inspection. Recommend balance and/or tightening of the light kit.**

• **Recommend a complete system evaluation and repairs be made by a licensed Electrician prior to closing on the home.**



GFCI receptacles not functioning/resetting



Missing receptacle cover in garage



Missing sticker at GFCI receptacles

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Receptacle not present at island



Receptacke not present at island



Missing light bulb at light fixture



Living room fan excessively wobbles/shakes

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

☒ ☐ ☐ ☐ A. Heating Equipment

Type of Systems:

- 2 Central Forced-Air
- Furnaces/Air Handlers are located within the upper attic space

Energy Sources:

- Natural Gas

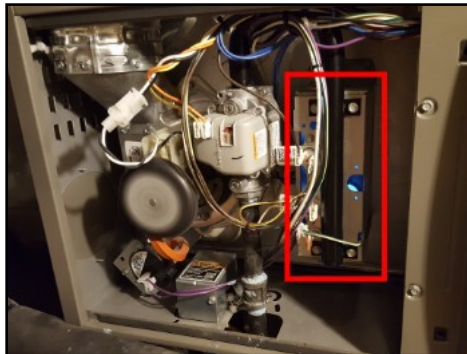
Comments: Inspection of the HVAC equipment is by operation of system only. Checking humidifiers, electronic air filters, and proper air flow is not included in this inspection. Full evaluation of the gas heat exchanger requires dismantling of the furnace and is beyond the scope of this inspection. If the units have not been serviced in the last 12 months, we recommend having the units serviced by a licensed technician. We recommend the heating system be completely serviced before each heating season. Filters should be changed at regular intervals. Heat pump systems are not tested when ambient temperatures are above 65 degrees Fahrenheit to avoid damaging the system. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the heating equipment, it is recommended that a complete evaluation of the heating equipment be conducted prior to close.

- Furnace - Lennox
- model# = ML180UH045E36A-54
- serial# = 1719G24731
- manufacture year = 2019
- Furnace - Lennox
- model# = ML180UH110E60C-54
- serial# = 1719H14027
- manufacture year = 2019

• *Visual inspection of the heating equipment components only. Did not test the furnace due to the exterior ambient temperature being above 70 degrees at the time of the inspection.



Furnace/Air handler located in upper attic space



Furnace burner ports



Furnace/Air handler located in upper attic space

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Furnace burner ports

☒ ☐ ☐ ☒

B. Cooling Equipment

Type of Systems:

- 2 Central Forced-Air

- A/C condensing units are located on the elevation of the home

Comments: Inspection of the HVAC equipment is by operation of system only. Testing for leaks, efficiency, or disassembling equipment are not within the scope of the inspection. Cooling equipment is not checked when the outside temperature is below 60 °F because of possible damage to the compressor. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning units are not tested. We recommend the cooling system be completely serviced before each cooling season and the primary condensate drain line be flushed with a chlorine bleach/water solution every 2 months during the cooling season to prevent clogging. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the cooling equipment it is recommended that a complete evaluation of the cooling equipment be conducted prior to close.

- A/C - Lennox

- model# = 14ACX-060-230-16

- serial# = 1919G03394

- manufacture year = 2019

- A/C - Lennox

- model# = 14ACXS024-230A21

- serial# = 1919A43916

- manufacture year = 2019

- Recommend a storm water splash guard be installed at roof edge to divert water away from the A/C condensing unit.

- Primary condensation drain lines are terminated to a bathroom vanity drain and the secondary drain lines are terminated to the exterior of the home through the exterior soffit. If condensation is seen dripping from the secondary drain lines it is recommended to turn off the system and contact a licensed HVAC technician.

- *Visual inspection of the cooling equipment components only. The A/C systems are not tested for proper operation when the outside air temperature is 65 degrees or less. The colder temperature makes it difficult to determine proper function and can potentially damage components of an air conditioner. It is always recommended to have a licensed HVAC technician conduct a complete system evaluation of the HVAC equipment prior to the first use of the season. Recommend following the manufacture care and maintenance instructions.

- The A/C refrigerant line insulation at the condensing unit is damaged/torn. Refrigerant line exposed at the time of the inspection. Recommend repairing and/or replacing.

- Seal the gaps where the refrigerant lines enter the evaporator coil cabinet and where the condensing drain lines exit the evaporator coil cabinet to deter loss of conditioned air within the attic space. Check all.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Recommend splash guard over condensing units



Secondary A/C drain line at rear elevation



Secondary A/C drain line at rear right elevation



Humidifier drain line at rear left elevation



Damaged/torn refrigerant line insulation



Primary A/C drain line



Seal refrigerant/drain lines at evaporator coil cabinet



Seal drain lines at evaporator coil cabinet

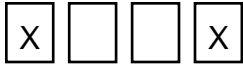
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NI=Not Inspected

NP=Not Present

D=Deficient

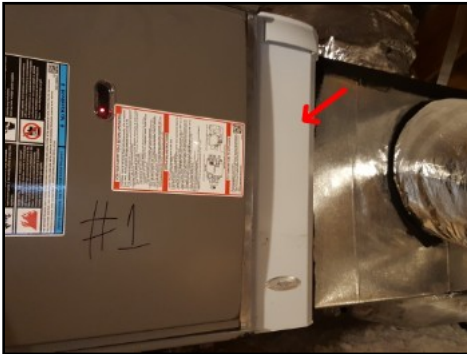
I NI NP D



C. Duct System, Chases, and Vents

Comments: The purpose of this inspection is to determine the ability of the ductwork to reasonably distribute conditioned air throughout the home. Ductwork is checked for significant visible deficiencies. Ducts that are concealed by insulation, enclosed in chases and walls are not accessible to the inspector and are not checked for damage. This is not an inspection of air quality. If items are marked in Red, marked as "Deficient", and/or you should have concern regarding the ducts and vents, it is recommended that a complete evaluation be conducted prior to close.

- ***Visually inspected the accessible areas of the HVAC ductwork only.**
- **HVAC media filters are located at the plenums/air handlers located within the attic space. Honeywell - 20x25 (merv 11). Recommend replacing air filters prior to closing on the home and as required/needed. Check all.**
- **Dehumidifier - Honeywell**
- **model# = DR120A3000**
- **serial# = 191909616**
- **manufacture year = 2019**
- **HVAC ducts within the upper attic space are in contact with one another at the time of the inspection. Contact between the ducts cools the surface and can cause harmful condensation to build up on the outside of the ductwork. Recommend separating with batts insulation. Check all.**
- **HVAC media filter is blocked by Furnace gas line and difficult to remove/install at the time of the inspection.**



HVAC media filter location/hatch



HVAC media filter type/size



HVAC media filter location/hatch



HVAC media filter type/size



HVAC media filter blocked



Dehumidifier within upper attic space

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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HVAC duct work in contact with one another

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

IV. PLUMBING SYSTEM

X			X
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A. Plumbing Supply, Distribution Systems and Fixtures

Location of Water Meter:

- **Front left of property by street curb**

Location of Main Water Supply Valve:

- **Exterior of structure on the left elevation of the home**

Comments: Plumbing is an important concern in any structure. Some problems may be undetectable due to being within the walls and/or underground, in floors or in the slab. Washing machine hot and cold and icemaker lines are not tested during inspection. Only visible plumbing components are inspected. Private water wells, septic systems, water softeners and filter systems are beyond the scope of this inspection. Shut off valves are not tested due to possibility of leaking or breaking after long periods of being inactive. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water supply system, it is recommended a complete evaluation be conducted prior to close.

- **Type = PEX Piping**
- **Static Water Pressure Reading: Approx. 50 psi**
- **Water line to fridge is not tested during inspection for proper pressure. Recommend flushing of line upon move in. Leaks were not observed in visible areas at the time of the inspection.**
- **Operating the Hot and Cold water valves for the washing machine is not within the scope of the inspection. Leaks were not observed in the visible areas at the time of the inspection.**
- **Faucet at the kitchen sink is missing a "swing" stop, allowing faucet to rotate over the counter top. Recommend checking manufacture install requirements.**
- **There were no leaks observed at the accessible plumbing fixtures/piping at the time of the inspection.**
- **Plumbing supply pipes are not insulated at the rear elevation outdoor kitchen area at the time of the inspection. Recommend insulating all exterior plumbing pipes and hose bib pipes to protect from hard freeze. Check all.**
- **Low water pressure at the upstairs hallway bathroom shower fixture when tested at the time of the inspection.**



Water meter location



Main water shut off valve



Water pressure at left elevation

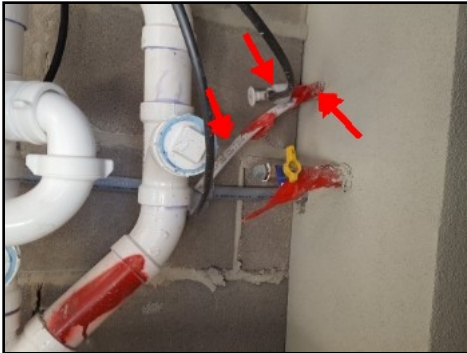
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NI=Not Inspected

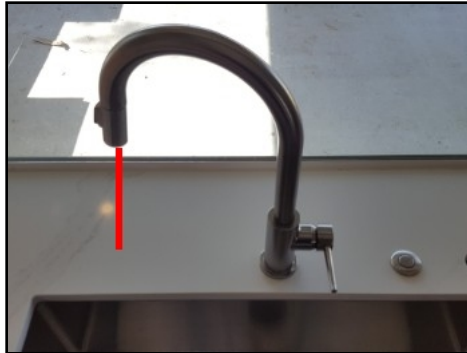
NP=Not Present

D=Deficient

I NI NP D



Insulate exposed plumbing pipes



Swing stop not present



Low water present at upstairs hallway bathroom shower

☒ ☐ ☐ ☒

B. Drains, Wastes, and Vents

Comments: Drain lines for washing machines, icemakers, water conditioning systems, drain pumps or water ejection pumps are beyond the scope of this inspection. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the drains, wastes, or vents, it is recommended a complete evaluation be conducted prior to close.

- Type = **PVC**

- Main sewer clean out is located in the front flower bed.

- Some areas of the drains, wastes, and vents were not accessible at the time of the inspection. Access panels are not installed to view the bathtub drain assemblies. The inspector is unable to determine the integrity of the drain lines and fittings. If possible, it is recommended to install an access panel for periodic monitoring for leaks.

- Drain for washing machine was uncovered at time of inspection. Washing machine drain is not tested for flow and/or drainage. Recommend monitoring first drain cycle of washing machine.

- Drain stop is inoperable at the upstairs rear right elevation bathroom vanity at the time of the inspection.

- Leak present at the upstairs rear right elevation bathroom vanity drain line at the time of the inspection.

- Leak present at the upstairs hallway bathroom tub drain line at the time of the inspection. Water observed leaking below the bathroom/within the garage.

- Recommend a complete system evaluation and repairs made by a licensed Plumber prior to closing on the home.



Main sewer clean out



Drain line uncovered



Drain stop inoperable

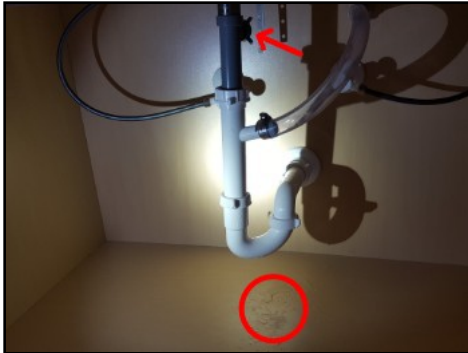
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NI=Not Inspected

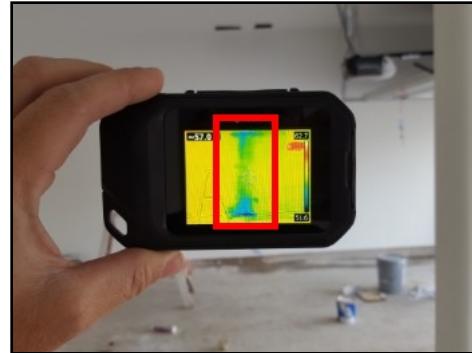
NP=Not Present

D=Deficient

I NI NP D



Leak present at drain line



Evidence of leak within garage

☒ ☐ ☐ ☐

C. Water Heating Equipment

Energy Source:

- Water heater(s) gas powered
- Water heater is located in the garage

Capacity:

- Recovery Rating = 184 GPH

Comments: Emergency drain pan lines are not tested for proper drainage. The Temperature and Pressure Relief Valve(s) on water heater(s) are not operated. It is common for the valve to not properly re-seat after operation. It is advised that the Temperature and Pressure Relief Valve(s) be serviced according to the manufacturers instructions. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water heater equipment, it is recommended a complete evaluation be conducted prior to close.

• Water Heater - Rheem - Tankless

• model# = RTG84DVLN-1

• serial# = W371913670

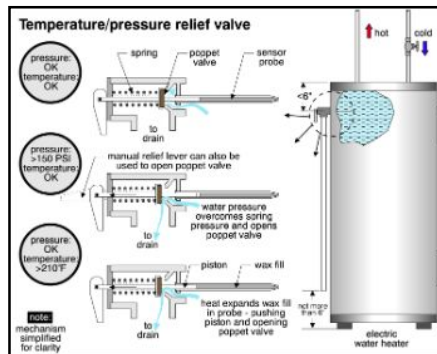
• manufacture year = 2019

• The Temperature and Pressure Relief Valve(s) on the water heater(s) do not appear to be rusted or damaged at the time of the inspection. The **TPR Valves** are not tested at the time of the inspection due to the possibility of the valve not resetting in place. Recommend testing the valve once a year by owner or by a licensed plumber.

- Recommend following the manufacture care and maintenance instructions.



Drain line termination at rear left elevation



TPR Valve operation



Tankless water heater located in garage

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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D. Hydro-Massage Therapy Equipment

Comments: Do not leave small children unattended in the unit or tub. Intake ports can have high suction which may catch hair and draw it into the intake/suction port, resulting in drowning. Hydro-Massage tubs, if not properly cleaned and maintained, can be the source of microbial and bacterial growth. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the equipment, it is recommended a complete evaluation be conducted prior to close.

- A Hydro-Massage Therapy Tub was not present at the time of the inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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E. Other

Comments: This is not a gas line pressure inspection or pressure test. Many of gas supply lines are buried underground or located in walls and buried under insulation. Inspector notes gas leaks and improper installation at accessible gas supply connections and or shut off valves. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the gas supply, it is recommended a complete evaluation be conducted prior to close.

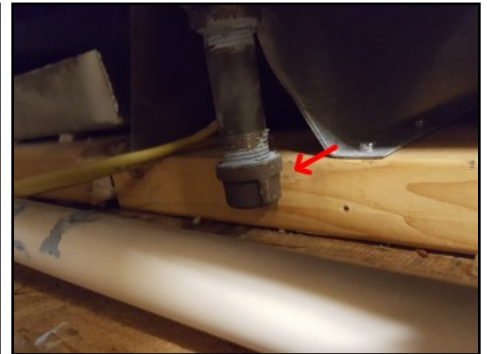
- ***Visual inspection of the Gas supply components only.**
- **Main gas meter and shut off valve is located on the left elevation of the home.**
- **Gas line valve decorative trim is not present at the exterior fireplace wall at the time of the inspection.**
- **Sediment traps for the furnace gas lines are installed against the attic floor/furnace decking boards making the caps difficult to be removed for future service. Check all.**



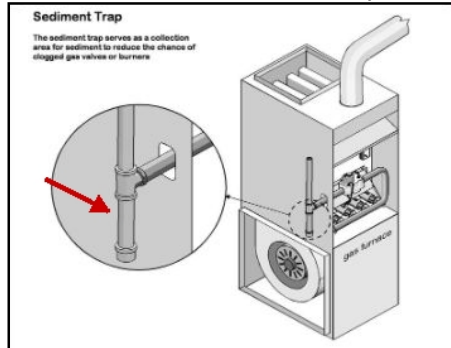
Gas meter and main shut off valve



Gas valve decorative trim not present



Sediment trap cap blocked



Sediment trap install at furnace

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

V. APPLIANCES☒ ☐ ☐ ☐**A. Dishwashers**

Comments: Units are inspected in normal wash cycle only. We recommend operating the dishwasher in other cycles prior to closing. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dishwasher, it is recommended that a complete evaluation be conducted prior to close.

- Dishwasher = Frigidaire
- model# = FPID2498SF5A
- serial# = KH92121978
- Dishwasher functioned as intended at the time of the inspection. Dishwasher was ran through a complete cycle and leaks were not present. Recommend following the manufacture care and maintenance instructions.

☒ ☐ ☐ ☐**B. Food Waste Disposers**

Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the food waste disposer, it is recommended a complete evaluation be conducted prior to close.

- Disposer = Badger
- model# = 1-87
- serial# = 19111307888
- Food Waste Disposer operated normally at time of the inspection. Recommend following the manufacture care and maintenance instructions.

☒ ☐ ☐ ☐**C. Range Hood and Exhaust Systems**

Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range exhaust vent, it is recommended that a complete evaluation be conducted prior to close.

- Vent Hood = Electrolux
- model# = FHW3660LSA
- serial# = HF94230024
- Range hood is present and appears to be functioning as intended at time of the inspection. Recommend following the manufacture care and maintenance instructions.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☒ ☐ ☐ ☐**D. Ranges, Cooktops, and Ovens**

Comments: Timers and clocks on ovens, ranges, and other household appliances are not checked for accuracy over long term operation. Self-cleaning cycle is not tested due to the extensive time necessary for operation. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range and cooktop, it is recommended that a complete evaluation be conducted prior to close.

- **Oven = Frigidaire**
- **model# = FPEW3077RFD**
- **serial# = AF93500799**
- **The Oven is electric.**
- **Oven operated normally at the time of the inspection. Oven was set to 350 degrees and temperature accuracy was within 25 degrees. Recommend following the manufacture care and maintenance instructions.**
- **Cooktop = Frigidaire**
- **model# = FPGC3677RSG**
- **serial# = 3F93609231**
- **The Cooktop is gas powered.**
- **The service valve for the cooktop gas line is located in the lower cabinet to the left of the unit.**
- **The cooktop functioned as intended at the time of the inspection. Recommend following the manufacture care and maintenance instructions.**



Gas line service valve within cabinet

☒ ☐ ☐ ☐**E. Microwave Ovens**

Comments: Microwaves are tested for heating only using normal operating controls. Microwaves are not tested for leaks and/or efficiency. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the microwave, it is recommended that a complete evaluation prior to close.

- **Microwave = Frigidaire**
- **model# = FPMO227NUFA**
- **serial# = KG94083284**
- **Microwave Oven operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.**

☒ ☐ ☐ ☐**F. Mechanical Exhaust Vents and Bathroom Heaters**

Comments: Exhaust fans must discharge to the building exterior through a proper exhaust vent dampered/weather protected hood. Terminating exhaust vents in attic is prohibited. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exhaust fans, it is recommended that a complete evaluation be conducted prior to close.

- **Exhaust fans functioned and terminated to the exterior as intended at the time of the inspection. Bathroom heaters were not present at the time of the inspection.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☒ ☐ ☐ ☐**G. Garage Door Operators***Door Type:***• Sectional doors**

Comments: It is important to keep all safety/pressure sensitivity components in proper adjustment and in good working order. Units should have electric eye sensors. It is recommended that you consider upgrading your unit if these are not present. Recommend reprogramming remote door opening controls upon move in. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the garage door system, it is recommended that a complete evaluation be conducted prior to close.

- **Garage door openers operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.**
- **Eye beam systems are present and operating as intended at the time of the inspection.**

☒ ☐ ☐ ☐**H. Dryer Exhaust Systems**

Comments: Interior of vent pipes are not within the scope of an inspection, and are not tested for air flow. Inspection of Dryer Vent is of visual components only. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dryer vent, it is recommended that a complete evaluation be conducted prior to close.

- ***Visually inspected accessible areas of the dryer vent only. Dryer exhaust flow is not tested. Vent terminates at the exterior rear left elevation of the home. Recommend periodically cleaning lint from dryer vent pipe.**



Dryer vent termination

☐ ☒ ☒ ☐**I. Other***Comments:*

- **Refrigerator, washing machine, and/or dryer were not present at the time of the inspection.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

VI. OPTIONAL SYSTEMS

☒ ☐ ☐ ☐
A. Landscape Irrigation (Sprinkler) Systems

Comments: Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. If the sprinkler system is inspected as part of this inspection, system is tested in the manual mode only. Water spray from the sprinkler system should be directed away from the structure and any decks, fences, or outbuildings. It is unknown if a check valve is installed at the water meter to prevent the sprinkler water from entering the main potable water system. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the sprinkler system, it is recommended a complete evaluation be conducted prior to close.

- **Sprinkler Control Box = Rain Bird**

- **Zones = 10 (irrigation zones not mapped/labeled)**

- **The irrigation main shut off valve and homeowners service valves/anti-siphon device are located on the left elevation of the home. The irrigation control panel is located in the garage.**

- **Testing the rain sensor is beyond the scope of the inspection.**

- **Coverage of sprinkler heads next to structure, driveway, sidewalks, and fencing should be adjusted so they do not spray directly on these areas.**



Main irrigation shut off valve



Homeowner service valves/anti-siphon device



Rain sensor not tested

☐ ☒ ☒ ☐
B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

Comments: If the swimming pool is inspected as part of this inspection, the swimming pool timers are inspected in the manual mode only.

- **Pool and or spa are not present at the time of the inspection.**

☐ ☒ ☒ ☐
C. Outbuildings

Materials:

Comments:

- **Out buildings are not present at the time of the inspection.**

☐ ☒ ☒ ☐
D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:

Type of Storage Equipment:

Comments: If a private water well is present, a coliform analysis is recommended.

- **Water well is not present at the time of the inspection.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

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E. Private Sewage Disposal (Septic) Systems

Type of System:

Location of Drain Field:

Comments:

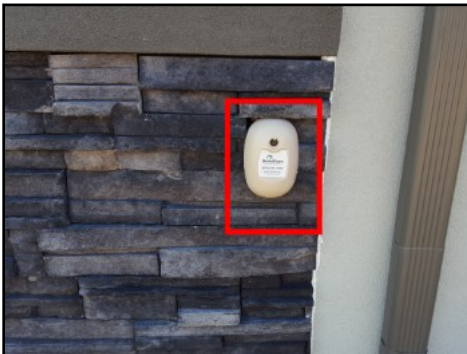
- Septic system is not present at the time of the inspection.

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F. Other

Comments:

- Insect repellent system is not within the scope of the inspection. Recommend consulting with the builder regarding the proper operation and maintenance schedule.
- Low voltage wiring and/or stereo equipment located at various locations of the home and attic space are not within the scope of this inspection. Recommend consulting with the builder regarding proper operation and maintenance schedule.
- Alarm and/or security system is not within the scope of this inspection. Recommend consulting with the builder regarding proper operation and maintenance schedule.



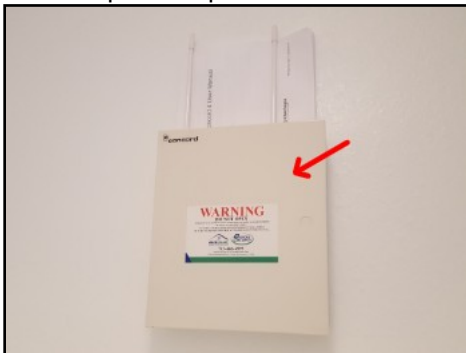
Not within scope of inspection



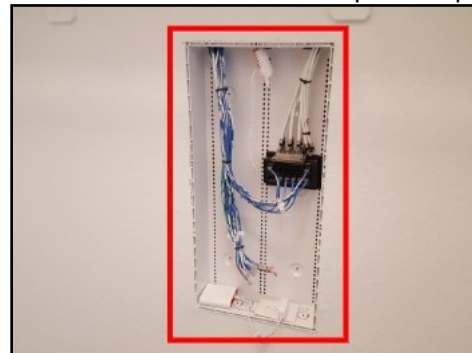
Not within scope of inspection



Not within scope of inspection



Not within scope of inspection



Not within scope of inspection/Missing cover

Report Summary

STRUCTURAL SYSTEMS

Page 5 Item: B	Grading & Drainage	<ul style="list-style-type: none"> Excessive moisture and/or standing water was observed at the left of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: additional gutters, improved swale, surface drains, french drains, or sub surface drains. Gutters have construction and/or vegetation debris present that can possibly clog the gutter down spouts and cause moisture penetration. Recommend periodically cleaning all gutters so that water is diverted away from structure as intended. Check all.
Page 6 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> Construction/mud debris present at various locations of the roof covering at the time of the inspection. Check all. Damaged/torn shingle at the front elevation of the roof covering at the time of the inspection. Damaged shingles should either be properly sealed and or replaced to deter moisture intrusion and or further damage. Check all.
Page 7 Item: D	Roof Structures and Attics	<ul style="list-style-type: none"> Access to the attic space above the study is not present at the time of the inspection. An attic that is greater than 30 sqft and has at least 30-inches of headroom should be readily accessible. Inspector observed higher than normal temperature difference at this location using thermal imaging camera. It appears batts and/or blown-in insulation is not installed within this attic space. Installing insulation so that all areas have an equal R-value has proven to save energy.
Page 8 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> Seal all gaps where the exterior cladding material intersects with one another to deter moisture and insect intrusion. Some areas include but not limited to: exterior siding to stucco, stone to stucco. Check all. Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and <u>A/C</u> refrigerant lines. Check all. Seal all corners of shower tile and where tile meets tub/shower pan as needed. Recommend sealing around all plumbing fixtures in showers and tubs. Check all.
Page 10 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> Carpet flooring is not properly secure in place at the upstairs landing. This can be considered a trip hazard and is in need of repair. Check all.
Page 10 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> Missing weatherstripping at the back door at the time of the inspection. Check all. Flush bolt at the back door is not functioning/unlocking as intended at the time of the inspection. Missing trim cover. Check all. Exterior door glass insert screw caps/covers are not present at the time of the inspection. Check all. Exterior door leading to the courtyard does not close tightly at the time of the inspection. Recommend adjusting doors so they are tight against strike plate when closed. Check all.
Page 12 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> Siding and/or siding trim material is not sealed/painted at the upper front porch at the time of the inspection. Check all.
Page 13 Item: L	Other	<ul style="list-style-type: none"> Driveway flatwork expansion joint is not cut/properly removed at the front elevation of the home at the time of the inspection. Check all. Fence picket is missing at the rear left elevation of the property at the time of the inspection. Check all. Soap dispenser or cover/cap is not present at the kitchen countertop at the time of the inspection.

ELECTRICAL SYSTEMS

Page 16 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • GFCI (ground fault circuit interrupter) receptacles at the outdoor kitchen are not functioning/resetting at the time of the inspection. Ground Fault Circuit Interrupter (GFCI) receptacles are required in all wet areas. Required areas include: exterior, garage, kitchen backsplash, and bathrooms. Check all. • Missing receptacle cover plate within the garage at the time of the inspection. Check all. • Receptacles are not present at the right and left side of the kitchen island left at the time of the inspection. • Light bulb is missing at the dining room light fixture at the time of the inspection. Recommend installing bulb and checking function of light fixture prior to closing on the home. Check all. • Four way circuit/switches for the main kitchen lights are not wired properly at the time of the inspection. Switches have to be in a certain position for the other to function. These switches should be able to work independently of one another. • The living room fan excessively wobbled/shook when operated at the time of the inspection. Recommend balance and/or tightening of the light kit. • Recommend a complete system evaluation and repairs be made by a licensed Electrician prior to closing on the home.
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HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 19 Item: B	Cooling Equipment	<ul style="list-style-type: none"> • The A/C refrigerant line insulation at the condensing unit is damaged/torn. Refrigerant line exposed at the time of the inspection. Recommend repairing and/or replacing. • Seal the gaps where the refrigerant lines enter the evaporator coil cabinet and where the condensing drain lines exit the evaporator coil cabinet to deter loss of conditioned air within the attic space. Check all.
Page 21 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none"> • HVAC ducts within the upper attic space are in contact with one another at the time of the inspection. Contact between the ducts cools the surface and can cause harmful condensation to build up on the outside of the ductwork. Recommend separating with batts insulation. Check all. • HVAC media filter is blocked by Furnace gas line and difficult to remove/install at the time of the inspection.

PLUMBING SYSTEM

Page 23 Item: A	Plumbing Supply, Distribution Systems and Fixtures	<ul style="list-style-type: none"> • Plumbing supply pipes are not insulated at the rear elevation outdoor kitchen area at the time of the inspection. Recommend insulating all exterior plumbing pipes and hose bib pipes to protect from hard freeze. Check all. • Low water pressure at the upstairs hallway bathroom shower fixture when tested at the time of the inspection.
Page 24 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> • Drain stop is inoperable at the upstairs rear right elevation bathroom vanity at the time of the inspection. • Leak present at the upstairs rear right elevation bathroom vanity drain line at the time of the inspection. • Leak present at the upstairs hallway bathroom tub drain line at the time of the inspection. Water observed leaking below the bathroom/within the garage. • Recommend a complete system evaluation and repairs made by a licensed Plumber prior to closing on the home.
Page 26 Item: E	Other	<ul style="list-style-type: none"> • Gas line valve decorative trim is not present at the exterior fireplace wall at the time of the inspection. • Sediment traps for the furnace gas lines are installed against the attic floor/furnace decking boards making the caps difficult to be removed for future service. Check all.