

# Southern Star Inspections, LLC

## Property Inspection Report



1234 Texas Cir., Tomball, TX 77377

Inspection prepared for: Jane Doe

Real Estate Agent: -

Date of Inspection: 1/2/2020 Time: 8:00 AM

Age of Home: 1920 Size: 1739 sqft

Weather: Overcast/Rain

Home is a two story with a detached two car garage. Client present at completion of the inspection.

Inspector: Travis Kepp

License #20608

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Email: [travis@southernstarinspections.com](mailto:travis@southernstarinspections.com)

[www.SouthernStarInspections.com](http://www.SouthernStarInspections.com)



**PROPERTY INSPECTION REPORT**

Prepared For: Jane Doe  
(Name of Client)

Concerning: 1234 Texas Cir., Tomball, TX 77377  
(Address or Other Identification of Inspected Property)

By: Travis Kepp, License #20608 1/2/2020  
(Name and License Number of Inspector) (Date)

**PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES**

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000  
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

**Important Reminders:**

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, **we are still available to you for any questions you may have.**

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection **may be limited** by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **This report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

**Note:** All directions given in this report (i.e. left, right, front, rear) are to be taken as if standing on the street facing the front of the building or, when appropriate, the system or component being inspected. Stored items, furniture, personal belongings, vehicles, etc. all obscure and impede the inspections process. When any of these items are present, client should assume that portions of the structure, systems and components were probably concealed or otherwise overlooked. Client should not assume that every deficiency was identified, recognized, or otherwise reported.

**What We Inspect:**

A Home Inspection is a **non-invasive visual examination** of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and **not the prediction of future conditions.**

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect..

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. **Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.**

**This is NOT a Wood Destroying Insect Inspection.** If requested, Southern Star Inspections provides reputable wood destroying insect inspectors for the client to contact for more information regarding their services.

**Summary page info:**

On the Summary Page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. **If items are marked RED and/or "deficient", we recommend an evaluation of the entire system by a qualified technician or professional.** The complete list of items noted is found throughout the body of the report, including Normal Maintenance items.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If any area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not guarantee the integrity of any work that was done without a permit. Depending upon your needs and those who will be on this property, items listed in the **body** of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

**Note:** If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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**A. Foundations***Type of Foundation(s):*

- **Pier and Beam/Slab on grade**

*Comments: This inspection is a visual review of the foundation and represents the opinion of the inspector, based solely on the inspector's personal experience with similar homes. The inspector does not pull up floor coverings, move furniture, measure elevations or propose repairs. The inspector does not enter crawl space areas less than 18". Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Homes built with slab and/or post tension cable foundation construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to visually inspect these items, they are specifically excluded from the scope of this inspection. The opinion stated below in no way addresses future foundation movement or settlement. If items are marked in Red, marked as "Deficient", and/or you should you have any concern regarding the foundation, it is recommended you have a complete evaluation prior to close.*

- **Performance Opinion: \*IT IS IN MY OPINION that at the time of this inspection, the visible areas of the foundation appear to be safely supporting the structure. The structure should be monitored for signs of differential foundation settlement, with corrective measures taken if excessive settlement occurs. Weather conditions, drainage and other adverse factors can effect structures and differential movements of foundations can occur because of them. The inspector's opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection.**

- **Homes built on a pier & beam construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the home in a crawl space. Clearance of at least 18" and an entry opening of at least 18"x24 is required to inspect a crawl space. The area is required to be dry and free of standing water at the time of the inspection. Foundation could not be inspected at various locations due to high soils, overgrown vegetation, sidewalks, attached decks/patios, and/or personal items. Recommend trimming all trees, bushes, and lowering grading/mulch beds away from the foundation walls so the foundation walls can be monitored.**

- **Proper crawl space skirt is not present at various locations of the foundation at the time of the inspection. Skirt is installed to keep vermin, pests, and/or wild animals from entering within the crawlspace. Current industry standard is 1 square foot of ventilation for every 1500 square feet of crawl space. Check all.**

- **Debris and/or voids are present within the crawlspace at the time of the inspection. Recommend removing debris so not to attract wood destroying insects. High moisture levels in soil beneath the foundation can effect its ability to support the weight of the structure above and may cause structural damage from soil movement. Moisture intrusion can also damage home materials and encourage the growth of microbes such as mold/fungi.**

- **Insulation is not present between the floor joists within the crawlspace at the time of the inspection. Properly insulating the floor will significantly reduce energy bills and help deter the loss of conditioned air.**

- **Floor joists less than 18" above grade/soil and girders less than 12" above grade/soil within the crawlspace should consist of treated material. Proper gap/separation from grade is recommended so material does not wick moisture and deteriorate over time. Check all.**

- **Inspector observed piers at various locations that were leaning and/or were not properly supporting load bearing material/beams. Cracked pier material present within the middle front of the crawlspace at the time of the inspection. Check all.**

- **Termite shields are not present at the top of the piers at various locations at the time of the inspection. Termite shields help deter possible WDI intrusion to floor joist and/or beam material. Check all.**

- **Observed altered floor beam that was not properly scabbed/supported within the crawlspace at the time of the inspection. Check all.**

- **Recommend further evaluation by a Texas Professional Structural Engineer and/or pier and beam specialist to go over repairs and cost of repairs prior to closing on the home based on the findings at the time of the inspection.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D



Skirt/cover not present at crawlspace



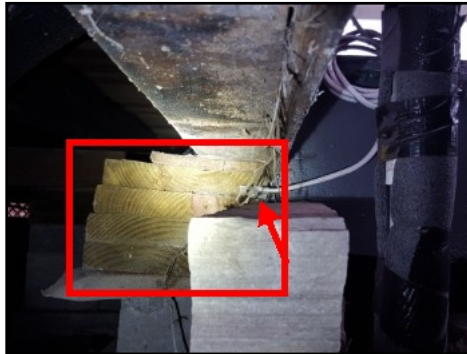
Exposed lumber at front left corner



Debris/voids present within crawlspace



Debris/voids present within crawlspace



Inadequate beam support at front elevation



Inadequate beam support within crawlspace



Pier material cracked within crawlspace



Termite shield not present



Floor joist altered/not supported



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I NI NP D

X			X
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**B. Grading & Drainage**

*Comments: Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. It is advisable to maintain at least four inches of clear area between the ground and masonry and six inches of clearance between ground and wood siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches per 10 feet. Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. Determining flood plains is beyond the scope of this inspection. The seller/builder may have more information concerning this subject. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the Grading or Drainage, it is recommended you have a complete evaluation of the drainage system prior to close.*

- **Gutters are not installed at the time of the inspection. Gutters are essential in preserving the integrity of the foundation and grading around it. Gutters help divert storm water away from the foundation in a uniform manor. Recommend installing a full home gutter system.**
- **Subsurface and/or french drains are not present at time of inspection.**
- **Observed high grading at the rear left elevation of the home. A minimum of a 6" clearance is required from the top of grade to the top of the foundation where siding or similar exterior cladding is installed. This limits the possibility of water intrusion, deterioration of building material, and helps identify wood destroying insects.**
- **Excessive moisture and/or standing water was observed at the rear left of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: additional gutters, improved swale, surface drains, french drains, or sub surface drains.**



High grading at rear elevation



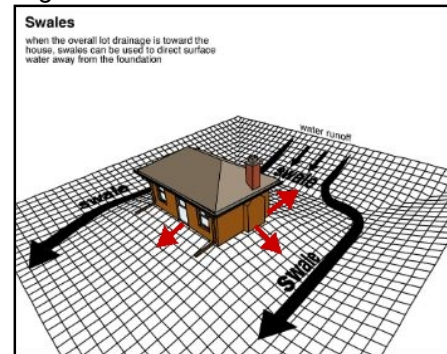
High grading at detached garage



Excessive moisture at rear left elevation



Excessive moisture at rear left elevation



Example of positive drainage/grading



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D=Deficient

I NI NP D

X			X
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## C. Roof Covering Materials

Type(s) of Roof Covering:

- **Asphalt shingles**

Viewed From:

- **Accessible areas of the roof**

*Comments: As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing on the home. The inspector does not speculate on the remaining life expectancy of the roof covering. This inspection does not address future leaks nor does it certify that the roof is leak-free at time of the inspection. Adequate attic ventilation, solar/wind exposure, and organic debris all affect the life expectancy of a roof. The inspector did not determine the roof shingle fastener pattern by lifting a random sampling of shingles. It has been determined that lifting roof shingles can cause damage. Non accessible roofing surfaces are inspected from the ground with binoculars and attic only. Tiled roofing surfaces are not walked on. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof covering material, it is recommended that you have a complete evaluation of the roof covering system prior to close.*

- **Did not access some portions of the roof due to height and pitch. Inspected these areas from the ground with binoculars.**

- **Maintenance of roof covering is necessary on an annual or semi-annual basis. This generally consists of replacing loose or missing shingles, replacing ridge caps, and sealing exposed nails as necessary. Life expectancy of a composition roof can range from 15 - 25 years, depending on the quality of the material. Shingles labeled as 30-40 year life expectancy, last approximately 20-25 years in the Houston area. It is best to replace a roof when signs of cracking, curling edges, brittle shingles, or signs of granular loss are observed.**

- **Observed vegetation debris such as leaves and/or pine needles on the roof covering that should be removed as needed. Check all.**

- **Vent pipes, roof jacks, and/or flashing material are not painted at the roof covering of the home at the time of the inspection. Recommend ensuring the securing nails are sealed prior to painting. Painting these help protect them from the exterior elements. Check all.**

- **Observed several exposed shingle nails, flashing nails, and/or roof jack nails that should be sealed so not to allow moisture entry to home. Recommend securing and sealing all nail heads that penetrate through the roof covering and/or flashing material. Check all.**



Vents/roof jacks not painted at right elevation



Flashing not painted



Flashing not painted

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I NI NP D



Exposed nails at roof covering



Exposed nails at roof covering

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## D. Roof Structures and Attics

*Approximate Average Depth of Insulation:*

- Insulation is approx. 10-12 inches deep

*Approximate Average Thickness of Vertical Insulation:*

- Insulation is approx. 6-8 inches deep

*Comments: Not all areas of an attic are visible due to lack of access. This is a limited inspection of what can be viewed from a safe platform. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof structure, it is recommended you have a complete evaluation of the roof structure prior to close.*

- **Viewed From: Accessible Areas of the Attic**

- The original roof most likely had wooden shake (shingles) that weigh less than the present asphalt shingles. This adds a significant amount of weight to the roof covering and may not be supported adequately.
- Condensation/moisture stains were observed on the decking and/or framing material within the attic space. Higher than normal moisture reading is not present at the time of the inspection.
- Some framing members within the garage and attic space of the home are not accessible and/or visible for inspection. From the accessible attic space, the roof structure appeared to be constructed and functioning as intended at the time of the inspection.
- Inspector observed excessive temperature differences/transfer at various locations of the interior walls and ceilings using thermal imaging camera at the time of the inspection. Some of these areas are common due to the roof/wall configuration. Insulation may be missing or not properly installed which allows unconditioned air to pass through the drywall and into the home. Installing insulation so that all areas have an equal R-value has proven to save energy.
- Attic access door is not foam sealed around the jamb on the interior side at the time of the inspection.
- Access to the mechanical equipment located in the attic should not be obstructed and attic landing/walkway should be a solid 3/4" floor decking material (minimum), continuous, and not less than 24 inches wide. A minimum 30x30 inch platform is required in front of mechanical equipment.
- Loose fill insulation is missing and/or greatly compacted in several locations. Replacing missing insulation so that all areas have an equal R-value has proven to save energy. Check all.

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I	NI	NP	D
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Evidence of poor insulation at master bath



Evidence of poor insulation at master bedroom



Evidence of poor insulation at master closet



Evidence of poor insulation at kitchen



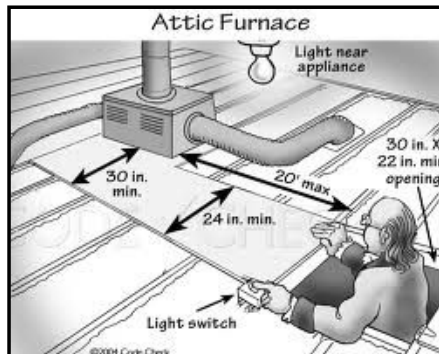
Moisture stains present at attic deck/lumber



Attic door jamb not foam sealed



Improper walkway/landing in attic space



Proper landing and walkway to mechanicals in attic



Compressed/missing insulation



Compressed/missing insulation



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I NI NP D

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**E. Walls (Interior and Exterior)***Wall Materials:*

- Exterior walls are made of Wood/Siding Material
- Interior walls are made of Drywall

*Comments: All exposed walls will be inspected. Furniture, personal items, and stored items are not moved by the inspector during the inspection. It is beyond the inspectors scope to determine the condition of the wall coverings except as they pertain to structural performance or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. All siding, but especially composition or hardboard siding must be closely monitored and seams must remain sealed (especially the lower courses at ground level). If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the walls, it is recommended a complete evaluation be conducted prior to close.*

- Seal all gaps where the exterior cladding material intersects with one another to deter moisture and insect intrusion. Some areas include but not limited to: exterior siding to brick, brick to flashing. Check all.
- Minor drywall repair and paint touch ups are needed at various locations of the home. Check all.
- Seal around all gaps of electrical and/or plumbing penetrations through cabinets and walls so not to lose conditioned air. Some areas include but not limited to: around plumbing pipes in cabinets, at electrical outlets and fixtures, vents.
- Damaged siding material present at the rear right elevation of the home at the time of the inspection. Minor caulk and paint touch ups needed at exterior of the home. Recommend sealing all gaps and/or voids in siding material. All exposed nail heads securing siding material to structure should be sealed as needed. Check all.
- Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and A/C refrigerant lines. Check all.
- A 2" gap between siding material and roof covering material is required. This will deter the siding from wicking moisture over time which can lead to siding deterioration. Check all.
- Seal all corners of shower tile and where tile meets tub/shower pan as needed. Recommend sealing around all plumbing fixtures in showers and tubs. Check all.



Seal material intersections



Damaged siding material at rear right elevation



Damaged/cracked siding material at rear elevation

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I NI NP D



Seal holes in siding at rear left elevation



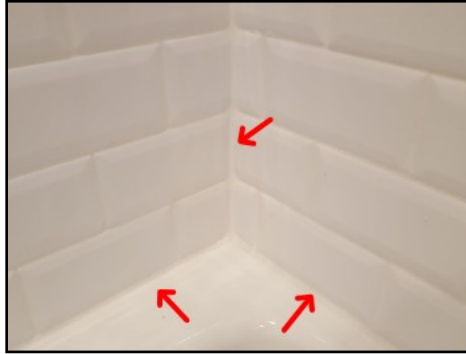
Seal all exterior penetrations



Seal all exterior penetrations



Siding in contact with shingles



Seal shower corners/Intersections



Seal shower corners/Intersections

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## F. Ceilings and Floors

### Ceiling & Floor Materials:

- Ceiling is Drywall

- Flooring is Tile/Wood

*Comments: Not all interior floors are visible and/or accessible as they may be obstructed by floor coverings, furniture, stored items, construction debris, etc. It is beyond the scope of this inspection to remove any floor covering. The inspection is not required to determine the condition of the interior ceiling or floor covering except as they pertain to the structural performance and/or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the ceilings and floors, it is recommended a complete evaluation of the ceilings and floors be conducted prior to close.*

- **Minor drywall repair and paint touch ups needed at the ceiling throughout the home. Check all.**



Settling crack at living room ceiling

I=Inspected

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D=Deficient

I NI NP D

X			X
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**G. Doors (Interior and Exterior)**

*Comments: It is common in the course of climate changes that some doors may bind mildly or that the latches may need adjustment. We recommend having all locks re-keyed after closing and before moving in to your new home. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the doors, it is recommended that a complete evaluation be conducted prior to close.*

- Recommend adjusting doors so they are tight against strike plate when closed. Check all.
- Seal exterior door thresholds and at bottom of door jambs/trim to limit moisture/insect intrusion. Check all.
- Rear left elevation door rubs on the threshold and is difficult to open/close at the time of the inspection.
- Observed gap at the lower strike side of the rear left elevation door when closed. Recommend adjusting the weatherstripping and/or door to close gap.
- Missing deadbolt strike plate at the rear left elevation door at the time of the inspection. Recommend boring holes on strike side of the exterior doors to enable deadbolts to fully engage. Check all.



Seal door thresholds/jambs



Seal door thresholds/jambs



Door rubs on threshold



Gap at lower strike side



Missing strike plate/bore deadbolt hole



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I NI NP D

X			X
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**H. Windows***Window Types:*

- **Window frames are made of Wood**
- **Windows are Double Hung**

*Comments: Inspection of storm windows, awnings, shutters, or other security device is beyond the scope of the inspector. Double pane window seals may be broken without having a visible amount of condensation build-up between the panes. Obviously fogged windows are noted when observed but a complete inspection is not possible due to some light conditions, installed screens, dirt on surfaces and/or rain at time of inspection. Recommend periodically sealing around all interior and exterior windows to deter moisture and insect intrusion. If items are marked in Red, marked "Deficient", and/or should you have concern regarding the windows, it is recommended that a complete evaluation of the windows be conducted prior to close.*

- **Recommend sealing around all interior and exterior windows to deter moisture and insect intrusion as needed. Check all.**
- **Several windows throughout the lower level of the home were blocked on the interior side by energy efficiency clear covers. These windows were not opened/closed at the time of the inspection.**
- **Windows are missing screens at various locations of the home at the time of the inspection. Check all.**
- **Window located within the lower rear left elevation bedroom was stuck in place and did not open at the time of the inspection. Several windows were difficult to open/close. Recommend adjusting/cleaning tracks and windows so they open smoothly for emergency egress purposes. Check all.**
- **Window latch housing is not properly secure in place at the lower rear left bedroom at the time of the inspection. Check all.**



Windows blocked at lower level



Window stuck in place



Latch housing not secure in place

X			
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**I. Stairways (Interior and Exterior)**

*Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the stairways, it is recommended that a complete evaluation of the stairways be conducted prior to close.*

- **Stair treads and risers were installed and acting as intended at time of the inspection.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☐ ☒ ☒ ☐
**J. Fireplaces and Chimneys**

Locations:

Types:

Comments: It is beyond the scope for the inspector to test the Fireplace/Chimney for proper draft, conduct a smoke test or verify the integrity of the flue. The inspector is required to perform an inspection on the visible components of the fireplace/chimney only. Freestanding wood burning stoves are beyond the scope of the inspector. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the fireplace and chimney, it is recommended that a complete evaluation of the fireplace and chimney be conducted prior to close by a qualified contractor.

- **Fireplace and chimney are not present at the time of the inspection.**

☒ ☐ ☐ ☒
**K. Porches, Balconies, Decks, and Carports**

Comments: It is beyond the scope of the inspector to report on detached structures or waterfront structures and equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exterior porches, decks, carports, etc, it is recommended a complete evaluation be conducted prior to close.

- **Recommend staining/waterproofing the exposed deck/patio building material to deter possible deterioration in the future.**
- **Hand rail and/or railing is not present at the front elevation porch at the time of the inspection. Handrail is required when there are three or more steps to the landing present.**
- **Front elevation and rear elevation deck/patio lumber material is in direct contact with grading at various locations at the time of the inspection. This may cause the building material to deteriorate over time. Post base install ensuring a 1"-2" distance from moisture is recommended. Check all.**



Railing not present



Handrail not present



Rear porch material in contact with grade



Post material in contact with grade



Rear deck not stained/painted



Post in contact with grade/soil



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

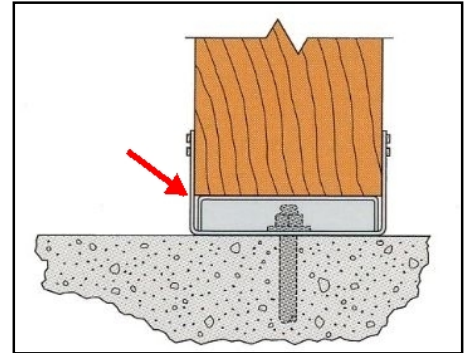
I NI NP D



Post material in contact with grade/soil



Post material in contact with grade/soil



Example of post base install

X			
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**L. Other**

*Materials:*

• **Flatwork**

*Comments:*

• **Front elevation walkway flatwork panels are cracked at various locations at the time of the inspection. Check all.**



Right elevation of home



Left elevation of home



Rear elevation of home



View from above



Cracks in walkway flatwork



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## II. ELECTRICAL SYSTEMS

### ☒ ☐ ☐ ☒ A. Service Entrance and Panels

#### Panel Locations:

- Main electrical panel is located at the exterior rear left elevation of the home

#### Materials & Amp Rating:

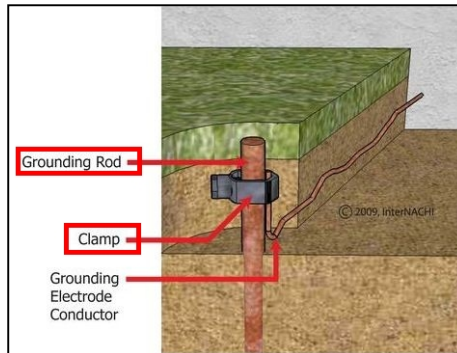
- Aluminum wiring
- Main panel is a Eaton -200 Amp Max

Comments: The inspector is not required to determine the service capacity amps, voltage capacity, or the capacity of the system relative to present or future use or requirements. The inspector is not required to conduct voltage drop calculations or determine the accuracy of the breaker labeling. The electrical service panel will be opened and inspected unless a safety hazard presents itself. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the electrical service, it is recommended a complete evaluation be conducted prior to close.

- Service entrance is overhead. Service wires over the back yard should be kept a minimum of 10' above the grade/yard.
- Ground rod clamp used to ground main panel is incorrect. It is recommend to replace the incorrect clamp with a proper "Acorn" clamp.
- The interior panel cover is missing securing hardware at the time of the inspection. Recommend adding blunt screws to the holes not bing used.
- Antioxidant gel is required at aluminum conductor terminations. This gel helps deter corrosion of the aluminum material. Antioxidant gel is not present at theses locations at the time of the inspection.
- There are white wires within the panel that are being used as "hot" wires. These wires should be properly marked as ungrounded conductors with red or black paint or tape at all visible locations (anything other than white, gray, or green).



Incorrect ground clamp



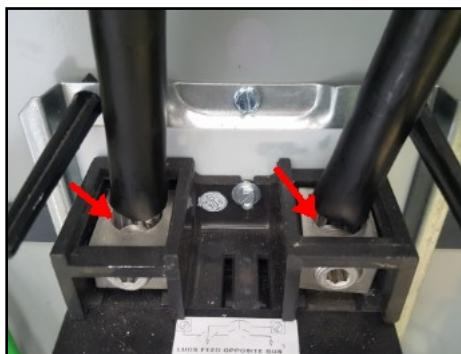
Proper "Acorn" clamp



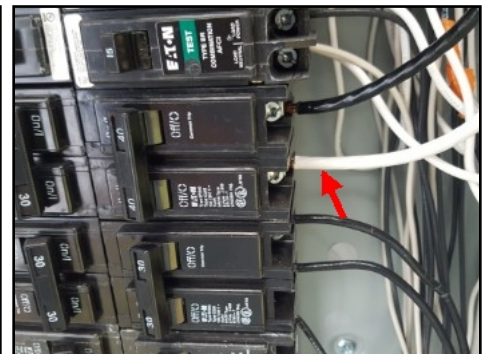
Main electrical panel at rear left elevation



Missing blunt screw



Aluminum wires missing antioxidant gel



White "hot" wires not marked with tape

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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**B. Branch Circuits, Connected Devices, and Fixtures***Type of Wiring:*• **Copper wiring**• **200 Amp breaker for the main electrical panel**

*Comments: Ground Fault Circuit Interrupter (GFCI) outlets are required in the garage, bathrooms, kitchen, and all exterior outlets/wet areas. If home was constructed before this rule was implemented, it is not required to upgrade but is highly recommended. Items not inspected include but are not limited to: cable, telephone, computer, speaker, photocells, low voltage, intercom systems, electric gates and doors, yard and tree lighting. Smoke detectors are tested by pressing the test button on each detector. Smoke detectors are not tested for actual "smoke" detection. Smoke alarms are not checked when a security system is in place. If items are marked in Red, marked as "Deficient", and/or should you have concern with the branch circuits or fixtures, it is recommended a complete evaluation be conducted prior to close.*

• **Doorbell operated normally at the time of the inspection.**

• **Smoke detectors were not manually tested due to the security system being present at the time of the inspection. In some cases the security company monitors the smoke detectors. Recommend changing batteries and testing the smoke detectors upon move in.**

• **GFCI receptacle covers are missing identifying sticker at the time of the inspection. Check all.**

• **Receptacles are loose at various locations of the home. LOCATIONS include but are not limited to: Jack and Jill bathroom, office, utility room, powder bathroom, kitchen backsplash, master bedroom. Check all.**

• **Light fixtures over the showers/tubs are required to be rated for wet and/or damp areas. Inspector was not able to identify proper tag at the time of the inspection.**

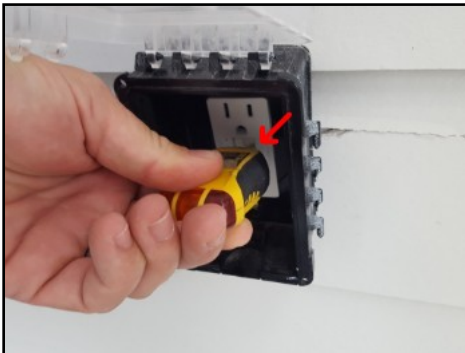
• **220 receptacle is not present within the utility room for an electric dryer at the time of the inspection.**

• **Light switch/exhaust fan switch is not present within the Jack and Jill bathroom near the rear left elevation bedroom at the time of the inspection.**

• **Exterior rear and rear left elevation GFCI receptacles are not resetting/functioning at the time of the inspection. Check all.**

• **The GFCI (ground fault circuit interrupter) receptacle to the right side of the kitchen sink is not properly functioning/tripping at the time of the inspection. Ground Fault Circuit Interrupter (GFCI) receptacles are required in all wet areas. Required areas include: exterior, garage, kitchen backsplash, and bathrooms. Check all.**

• **GFCI receptacle at the right elevation of kitchen sink indicates "open ground" at the time of the inspection. Check all.**



Back porch GFCI not resetting



GFCI inoperable/Not resetting



Missing sticker at GFCI receptacles

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

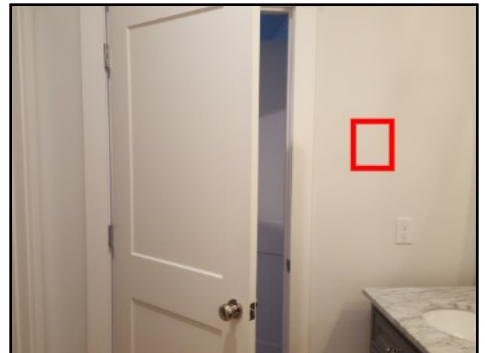
I	NI	NP	D
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Receptacle operated by switch



220 receptacle not present



Switches not present at Jack and Jill bathroom



GFCI receptacle not tripping



"Open ground" at GFCI receptacle



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

#### ☒ ☐ ☐ ☐ A. Heating Equipment

Type of Systems:

- **Central Forced-Air**
- **Furnace/Air Handler is located within the lower attic space**

Energy Sources:

- **Natural Gas**

*Comments: Inspection of the HVAC equipment is by operation of system only. Checking humidifiers, electronic air filters, and proper air flow is not included in this inspection. Full evaluation of the gas heat exchanger requires dismantling of the furnace and is beyond the scope of this inspection. If the units have not been serviced in the last 12 months, we recommend having the units serviced by a licensed technician. We recommend the heating system be completely serviced before each heating season. Filters should be changed at regular intervals. Heat pump systems are not tested when ambient temperatures are above 65 degrees Fahrenheit to avoid damaging the system. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the heating equipment, it is recommended that a complete evaluation of the heating equipment be conducted prior to close.*

- **Furnace - Goodman**
- **model# = GMS80805CNBE**
- **serial# = 1901246643**
- **manufacture year = 2019**
- **Heating equipment functioned properly at time of inspection. It is always recommended to have a licensed HVAC technician conduct a complete system evaluation of the HVAC equipment prior to the first use of the season. Recommend following the manufacture care and maintenance instructions.**



Furnace/Air handler located in lower attic space



Furnace burner ports

I=Inspected

NI=Not Inspected

NP=Not Present

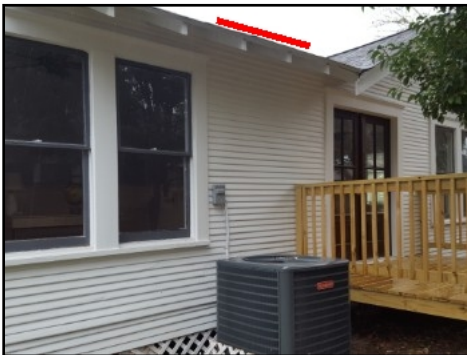
D=Deficient

I NI NP D

X			X
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**B. Cooling Equipment***Type of Systems:*• **Central Forced-Air**• **A/C condensing unit is located on the rear left elevation of the home**

*Comments: Inspection of the HVAC equipment is by operation of system only. Testing for leaks, efficiency, or disassembling equipment are not within the scope of the inspection. Cooling equipment is not checked when the outside temperature is below 60 °F because of possible damage to the compressor. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning units are not tested. We recommend the cooling system be completely serviced before each cooling season and the primary condensate drain line be flushed with a chlorine bleach/water solution every 2 months during the cooling season to prevent clogging. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the cooling equipment it is recommended that a complete evaluation of the cooling equipment be conducted prior to close.*

• **A/C - Goodman**• **model# = GSX140601KD**• **serial# = 1905269149**• **manufacture year = 2019**• **Recommend a storm water splash guard be installed at roof edge to divert water away from the A/C condensing unit.**• **Recommend install of "rain hood" at the refrigerant line entry to home.**• **Primary condensation drain line is terminated to a bathroom vanity drain and the secondary drain line is terminated to the exterior of the home through the soffit. If condensation is seen dripping from the secondary drain line it is recommended to turn off the system and contact a licensed HVAC technician.**• **\*Visual inspection of the cooling equipment components only. The A/C system is not tested for proper operation when the outside air temperature is 65 degrees or less. The colder temperature makes it difficult to determine proper function and can potentially damage components of an air conditioner. It is always recommended to have a licensed HVAC technician conduct a complete system evaluation of the HVAC equipment prior to the first use of the season. Recommend following the manufacture care and maintenance instructions.**• **A/C condensing unit is not secure to the foundation pad at the time of the inspection. Recommend securing to deter possible damage to refrigerant lines from landscaping equipment.**• **The A/C condensing unit is not level at the time of the inspection. This condition can affect compressor operation, lubrication and may place excessive stress on the freon lines and connections.**• **Debris was observed within the A/C secondary drain pan at the time of the inspection. Recommend removing all debris so not to clog drain line.**

Recommend splash guard over condensing unit



Example of rain hood flashing



Condensing unit not level

I=Inspected

NI=Not Inspected

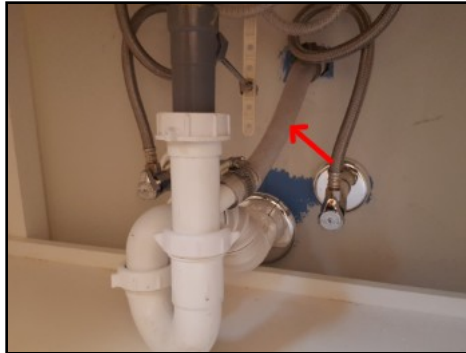
NP=Not Present

D=Deficient

I NI NP D



Secondary A/C drain line at rear right elevation



Primary A/C drain line



Debris in secondary A/C drain pan

X			X
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### C. Duct System, Chases, and Vents

*Comments: The purpose of this inspection is to determine the ability of the ductwork to reasonably distribute conditioned air throughout the home. Ductwork is checked for significant visible deficiencies. Ducts that are concealed by insulation, enclosed in chases and walls are not accessible to the inspector and are not checked for damage. This is not an inspection of air quality. If items are marked in Red, marked as "Deficient", and/or you should have concern regarding the ducts and vents, it is recommended that a complete evaluation be conducted prior to close.*

- **\*Visually inspected the accessible areas of the HVAC ductwork only.**
- **Air filters are dirty at the time of inspection and may be straining the system. Recommend replacing air filters prior to moving in and as required/needed. Check all.**



HVAC filter dirty



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## IV. PLUMBING SYSTEM

X			X
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## A. Plumbing Supply, Distribution Systems and Fixtures

*Location of Water Meter:*

- Water meter was not located at the time of inspection. Main water meter is possibly blocked by vegetation and/or covered by mulch/grading, or flatwork. Recommend consulting with the builder and/or licensed plumber regarding exact location prior to closing on the home.

*Location of Main Water Supply Valve:*

- Exterior of structure on the front elevation of the home

*Comments: Plumbing is an important concern in any structure. Some problems may be undetectable due to being within the walls and/or underground, in floors or in the slab. Washing machine hot and cold and icemaker lines are not tested during inspection. Only visible plumbing components are inspected. Private water wells, septic systems, water softeners and filter systems are beyond the scope of this inspection. Shut off valves are not tested due to possibility of leaking or breaking after long periods of being inactive. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water supply system, it is recommended a complete evaluation be conducted prior to close.*

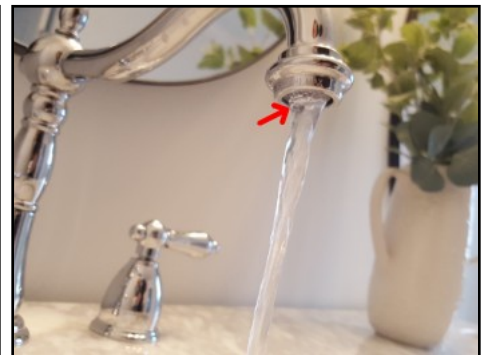
- Type = PEX Piping
- Static Water Pressure Reading: Approx. 45 psi
- Water line to fridge is not tested during inspection for proper pressure. Recommend flushing of line upon move in. Leaks were not observed in visible areas at the time of the inspection.
- Operating the Hot and Cold water valves for the washing machine is not within the scope of the inspection. Leaks were not observed in the visible areas at the time of the inspection.
- Recommend cleaning the aerator of the master bathroom left side vanity faucet/faucet. Check all.
- Faucets/fixtures at the kitchen sink and bathroom vanities are missing "swing" stops, allowing faucets to rotate over the counter tops. Recommend checking manufacture install requirements.
- There were no leaks observed at the accessible plumbing fixtures/piping at the time of the inspection.
- Water meter was not located at the time of inspection. Main water meter is possibly blocked by vegetation and/or covered by mulch/grading, or flatwork. Recommend consulting with the builder and/or licensed plumber regarding exact location prior to closing on the home.
- Sealant is not present at the bathroom vanity intersections with counter tops at the time of the inspection. Check all.



Main water shut off valve



Water pressure at front elevation



Clean aretor at master bathroom

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Swing stop not present



Bathroom vanities not sealed at counter top

X			X
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## B. Drains, Wastes, and Vents

*Comments: Drain lines for washing machines, icemakers, water conditioning systems, drain pumps or water ejection pumps are beyond the scope of this inspection. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the drains, wastes, or vents, it is recommended a complete evaluation be conducted prior to close.*

- **Type = PVC**

- Some areas of the drains, wastes, and vents were not accessible at the time of the inspection.

- Drain for washing machine was covered/capped at the time of the inspection.

Builder/plumber should properly remove cap/cover prior to closing on the home. Washing machine drain is not tested for flow and/or drainage. Recommend monitoring first drain cycle of washing machine.

- Recommend installing a flush mount/decorative drain line clean out cap within the utility room.

- Main sewer line clean out was not located at the time of the inspection. Main sewer clean out is possibly blocked by vegetation and/or covered by mulch/grading, or flatwork. Recommend consulting with the builder and/or licensed plumber regarding exact location prior to closing on the home.

- Stack vent is capped/covered at the time of the inspection. Cap should be removed so vent can allow sewer gas to escape as intended. Recommend sealing vent at intersection with roof jack to deter moisture penetration. Check all.

- S-trap drain line configuration is present beneath the powder bathroom vanity at the time of the inspection.

- Flexible accordion drain pipe is present beneath the powder bathroom vanity at the time of the inspection. Accordion drain tubes are prone to building up material and/or leakage. Recommend having a standard rigid tailpipe installed with a smooth interior wall.

- Leak present at the Jack and Jill bathroom right side vanity drain stop at the time of the inspection.

- Leak present at the master bathroom right side vanity drain line connection/gasket at the time of the inspection.

- Leak present at the master bathroom tub drain/gasket at the time of the inspection.

- Recommend a complete system evaluation/repairs made by a licensed Plumber prior to closing on the home.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Stack vent capped/covered



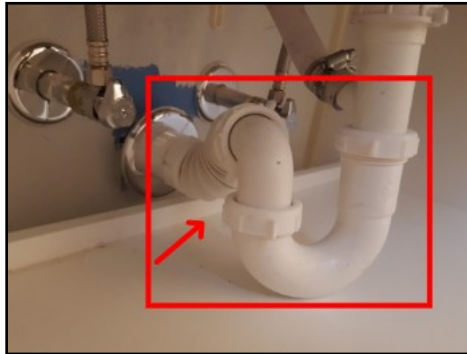
Stack vent/roof jack not sealed



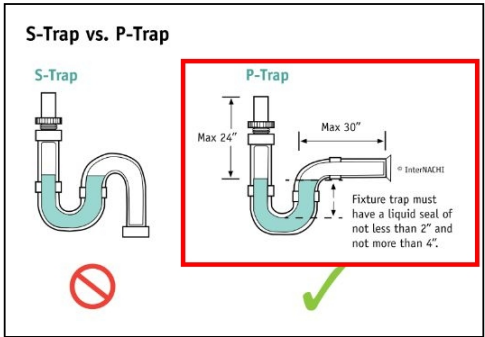
Remove cap/cover at utility room



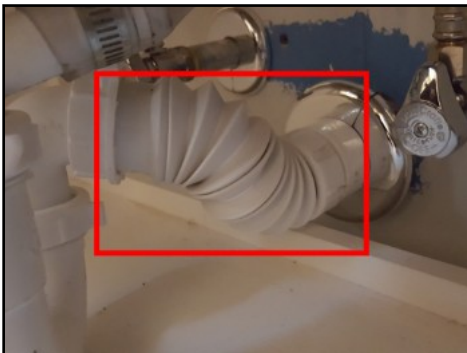
Recommend flush mount cover



S-trap present at powder bathroom vanity



Example of proper P-Trap install



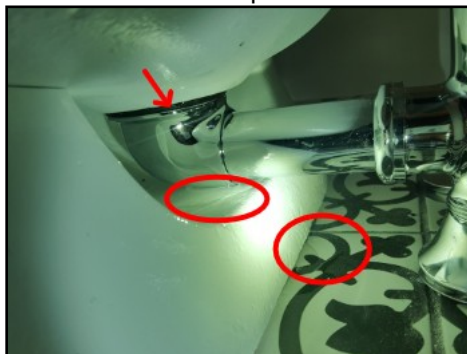
Flex drain pipe present



Leak at lower bathroom vanity drain stop



Leak present at master bathroom vanity drain



Lek at master bathroom tub drain



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☒ ☐ ☐ ☐

## C. Water Heating Equipment

Energy Source:

- Water heater(s) electric powered
- Water heater is located in the lower attic space

Capacity:

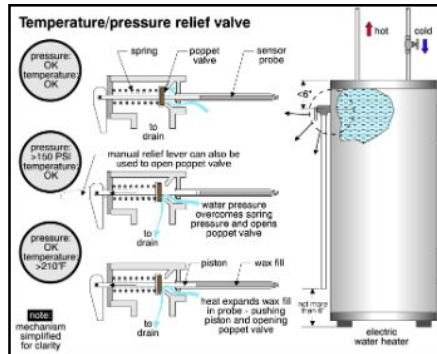
- Unit is 40 Gallon

Comments: Emergency drain pan lines are not tested for proper drainage. The Temperature and Pressure Relief Valve(s) on water heater(s) are not operated. It is common for the valve to not properly re-seat after operation. It is advised that the Temperature and Pressure Relief Valve(s) be serviced according to the manufacturers instructions. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water heater equipment, it is recommended a complete evaluation be conducted prior to close.

- Water Heater - State Select
- model# = EN6-40-DORS 110
- serial# = 1911114055868
- manufacture year = 2019
- The Temperature and Pressure Relief Valve on the water heater does not appear to be rusted or damaged at the time of the inspection. The drain lines terminate to the exterior rear left elevation below the deck/porch. The TPR Valves are not tested at the time of the inspection due to the possibility of the valve not resetting in place. Recommend testing the valve once a year by owner or by a licensed plumber.
- Recommend following the manufacture care and maintenance instructions.



Drain line termination at rear left elevation



TPR Valve operation



Water heater located within the lower attic space

☐ ☒ ☒ ☐

## D. Hydro-Massage Therapy Equipment

Comments: Do not leave small children unattended in the unit or tub. Intake ports can have high suction which may catch hair and draw it into the intake/suction port, resulting in drowning. Hydro-Massage tubs, if not properly cleaned and maintained, can be the source of microbial and bacterial growth. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the equipment, it is recommended a complete evaluation be conducted prior to close.

- A Hydro-Massage Therapy Tub was not present at the time of the inspection.

☒ ☐ ☐ ☐

## E. Other

Comments: This is not a gas line pressure inspection or pressure test. Many of gas supply lines are buried underground or located in walls and buried under insulation. Inspector notes gas leaks and improper installation at accessible gas supply connections and or shut off valves. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the gas supply, it is recommended a complete evaluation be conducted prior to close.

- \*Visual inspection of the Gas supply components only.
- Main gas meter and shut off valve is located on the rear right elevation of the home.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Gas meter and main shut off valve

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**V. APPLIANCES**☒ ☐ ☐ ☐**A. Dishwashers**

*Comments: Units are inspected in normal wash cycle only. We recommend operating the dishwasher in other cycles prior to closing. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dishwasher, it is recommended that a complete evaluation be conducted prior to close.*

- Dishwasher = G.E.
- model# = PDT825SSJ5SS
- serial# = GM100442B
- Dishwasher functioned as intended at the time of the inspection. Dishwasher was ran through a complete cycle and leaks were not present. Recommend following the manufacture care and maintenance instructions.

☒ ☐ ☐ ☐**B. Food Waste Disposers**

*Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the food waste disposer, it is recommended a complete evaluation be conducted prior to close.*

- Disposer = Badger
- model# = 1-87
- serial# = 19051050217
- Food Waste Disposer operated normally at time of the inspection. Recommend following the manufacture care and maintenance instructions.

☒ ☐ ☐ ☐**C. Range Hood and Exhaust Systems**

*Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range exhaust vent, it is recommended that a complete evaluation be conducted prior to close.*

- Vent Hood = Intertek
- model# = WH101C36SR/IR001C36SR
- serial# = 3099695
- Range hood is present and appears to be functioning as intended at time of the inspection. Recommend following the manufacture care and maintenance instructions.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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**D. Ranges, Cooktops, and Ovens**

*Comments: Timers and clocks on ovens, ranges, and other household appliances are not checked for accuracy over long term operation. Self-cleaning cycle is not tested due to the extensive time necessary for operation. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range and cooktop, it is recommended that a complete evaluation be conducted prior to close.*

- Oven 1 = G.E.
- model# = PTS7000SN1SS
- serial# = HM093412Q
- Oven 2 = G.E.
- model# = PTS7000SN1SS
- serial# = HM093394Q
- The Ovens are electric.
- Ovens operated normally at the time of the inspection. Ovens were set to 350 degrees and temperature accuracy was within 25 degrees. Recommend following the manufacture care and maintenance instructions.
- Cooktop = G.E.
- model# = PGP7036SL1SS
- serial# = FM118590Q
- The Cooktop is gas powered.
- The service valve for the cooktop gas line is located beneath the unit.
- The cooktop functioned as intended at the time of the inspection. Recommend following the manufacture care and maintenance instructions.
- **Cooktop is not properly secure in place at the time of the inspection.**



Gas line service valve is beneath unit

X			
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**E. Microwave Ovens**

*Comments: Microwaves are tested for heating only using normal operating controls. Microwaves are not tested for leaks and/or efficiency. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the microwave, it is recommended that a complete evaluation prior to close.*

- Microwave = G.E.
- model# = PES7227SL1SS
- serial# = ZL219755A
- Microwave Oven operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

☒ ☐ ☐ ☒**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments: Exhaust fans must discharge to the building exterior through a proper exhaust vent dampered/weather protected hood. Terminating exhaust vents in attic is prohibited. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exhaust fans, it is recommended that a complete evaluation be conducted prior to close.*

- Exhaust fans functioned and terminated to the exterior as intended at the time of the inspection. Bathroom heaters were not present at the time of the inspection.
- Bathroom exhaust fan vent termination is missing the proper cover at the rear right elevation of the home at the time of the inspection.



Vent cover not present/Seal exterior penetrations

☒ ☐ ☐ ☒**G. Garage Door Operators**

*Door Type:*

- **Sectional door**

*Comments: It is important to keep all safety/pressure sensitivity components in proper adjustment and in good working order. Units should have electric eye sensors. It is recommended that you consider upgrading your unit if these are not present. Recommend reprogramming remote door opening controls upon move in. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the garage door system, it is recommended that a complete evaluation be conducted prior to close.*

- Garage door opener operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Eye beam system is present and operating as intended at the time of the inspection.
- Garage door opener light fixture is not functioning and/or the light bulb is expired/missing at the time of the inspection. Recommend changing bulb and checking function of fixture. Check all.

☒ ☐ ☐ ☐**H. Dryer Exhaust Systems**

*Comments: Interior of vent pipes are not within the scope of an inspection, and are not tested for air flow. Inspection of Dryer Vent is of visual components only. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dryer vent, it is recommended that a complete evaluation be conducted prior to close.*

- \*Visually inspected accessible areas of the dryer vent only. Dryer exhaust flow is not tested. Vent terminates through the roof of the home. Recommend periodically cleaning lint from dryer vent pipe.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Dryer vent termination

X			
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**I. Other***Comments:*

- Refrigerator - G.E.
- model# = PYE22KSKKSS
- serial# = VL530823
- \*Visual inspection of the refrigerator components only. Testing the refrigerator is beyond the scope of the inspector. The unit appeared to be installed and cooling as required at the time of the inspection. Recommend testing prior to closing on home to ensure the refrigerator functions properly. No leaks were observed.
- Washing machine and/or dryer were not present at the time of the inspection.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## VI. OPTIONAL SYSTEMS

☐ ☒ ☒ ☐
**A. Landscape Irrigation (Sprinkler) Systems**

*Comments: Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. If the sprinkler system is inspected as part of this inspection, system is tested in the manual mode only. Water spray from the sprinkler system should be directed away from the structure and any decks, fences, or outbuildings. It is unknown if a check valve is installed at the water meter to prevent the sprinkler water from entering the main potable water system. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the sprinkler system, it is recommended a complete evaluation be conducted prior to close.*

- **Sprinkler system was not present at the time of the inspection. Recommend installing an automatic irrigation system to help maintain constant soil moisture around the foundation walls. Soils in the Houston area that receive too much or too little water can affect the performance of the foundation.**

☐ ☒ ☒ ☐
**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

*Type of Construction:*

*Comments: If the swimming pool is inspected as part of this inspection, the swimming pool timers are inspected in the manual mode only.*

- **Pool and or spa are not present at the time of the inspection.**

☐ ☒ ☒ ☐
**C. Outbuildings**

*Materials:*

*Comments:*

- **Out buildings are not present at the time of the inspection.**

☐ ☒ ☒ ☐
**D. Private Water Wells (A coliform analysis is recommended)**

*Type of Pump:*

*Type of Storage Equipment:*

*Comments: If a private water well is present, a coliform analysis is recommended.*

- **Water well is not present at the time of the inspection.**

☐ ☒ ☒ ☐
**E. Private Sewage Disposal (Septic) Systems**

*Type of System:*

*Location of Drain Field:*

*Comments:*

- **Septic system is not present at the time of the inspection.**

☐ ☒ ☐ ☐
**F. Other**

*Comments:*

- **Gate opening equipment is not within the scope of this inspection. Gate appeared to be functioning as intended at the time of the inspection. Recommend consulting with builder regarding use/maintenance of the gate and moving parts.**
- **Alarm and/or security system is not within the scope of this inspection. Recommend consulting with the seller regarding proper operation and maintenance schedule.**
- **Low voltage wiring and/or stereo equipment located at various locations of the home and attic space are not within the scope of this inspection. Recommend consulting with the seller regarding proper operation and maintenance schedule.**

I=Inspected

NI=Not Inspected

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D=Deficient

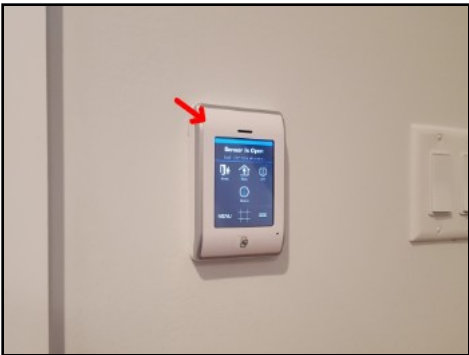
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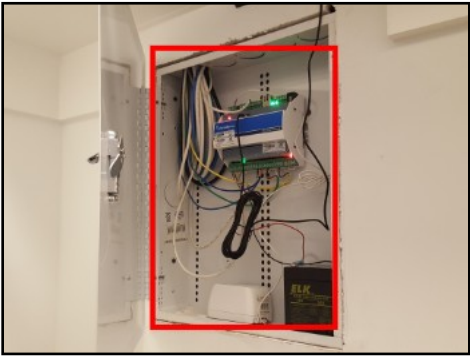
Not within scope of inspection



Not within scope of inspection



Not within scope of inspection



Not within scope of inspection

## Report Summary

**STRUCTURAL SYSTEMS**

Page 5 Item: A	Foundations	<ul style="list-style-type: none"> <li>• Proper crawl space skirt is not present at various locations of the foundation at the time of the inspection. Skirt is installed to keep vermin, pests, and/or wild animals from entering within the crawlspace. Current industry standard is 1 square foot of ventilation for every 1500 square feet of crawl space. Check all.</li> <li>• Debris and/or voids are present within the crawlspace at the time of the inspection. Recommend removing debris so not to attract wood destroying insects. High moisture levels in soil beneath the foundation can effect its ability to support the weight of the structure above and may cause structural damage from soil movement. Moisture intrusion can also damage home materials and encourage the growth of microbes such as mold/fungi.</li> <li>• Insulation is not present between the floor joists within the crawlspace at the time of the inspection. Properly insulating the floor will significantly reduce energy bills and help deter the loss of conditioned air.</li> <li>• Floor joists less than 18" above grade/soil and girders less than 12" above grade/soil within the crawlspace should consist of treated material. Proper gap/separation from grade is recommended so material does not wick moisture and deteriorate over time. Check all.</li> <li>• Inspector observed piers at various locations that were leaning and/or were not properly supporting load bearing material/beams. Cracked pier material present within the middle front of the crawlspace at the time of the inspection. Check all.</li> <li>• Termite shields are not present at the top of the piers at various locations at the time of the inspection. Termite shields help deter possible WDI intrusion to floor joist and/or beam material. Check all.</li> <li>• Observed altered floor beam that was not properly scabbed/supported within the crawlspace at the time of the inspection. Check all.</li> <li>• Recommend further evaluation by a Texas Professional Structural Engineer and/or pier and beam specialist to go over repairs and cost of repairs prior to closing on the home based on the findings at the time of the inspection.</li> </ul>
Page 7 Item: B	Grading & Drainage	<ul style="list-style-type: none"> <li>• Observed high grading at the rear left elevation of the home. A minimum of a 6" clearance is required from the top of grade to the top of the foundation where siding or similar exterior cladding is installed. This limits the possibility of water intrusion, deterioration of building material, and helps identify wood destroying insects.</li> <li>• Excessive moisture and/or standing water was observed at the rear left of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: additional gutters, improved swale, surface drains, french drains, or sub surface drains.</li> </ul>
Page 8 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> <li>• Vent pipes, roof jacks, and/or flashing material are not painted at the roof covering of the home at the time of the inspection. Recommend ensuring the securing nails are sealed prior to painting. Painting these help protect them from the exterior elements. Check all.</li> <li>• Observed several exposed shingle nails, flashing nails, and/or roof jack nails that should be sealed so not to allow moisture entry to home. Recommend securing and sealing all nail heads that penetrate through the roof covering and/or flashing material. Check all.</li> </ul>



Page 9 Item: D	Roof Structures and Attics	<ul style="list-style-type: none"> <li>Inspector observed excessive temperature differences/transfer at various locations of the interior walls and ceilings using thermal imaging camera at the time of the inspection. Some of these areas are common due to the roof/wall configuration. Insulation may be missing or not properly installed which allows unconditioned air to pass through the drywall and into the home. Installing insulation so that all areas have an equal R-value has proven to save energy.</li> <li>Attic access door is not foam sealed around the jamb on the interior side at the time of the inspection.</li> <li>Access to the mechanical equipment located in the attic should not be obstructed and attic landing/walkway should be a solid 3/4" floor decking material (minimum), continuous, and not less than 24 inches wide. A minimum 30x30 inch platform is required in front of mechanical equipment.</li> <li>Loose fill insulation is missing and/or greatly compacted in several locations. Replacing missing insulation so that all areas have an equal R-value has proven to save energy. Check all.</li> </ul>
Page 11 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> <li>Damaged siding material present at the rear right elevation of the home at the time of the inspection. Minor caulk and paint touch ups needed at exterior of the home. Recommend sealing all gaps and/or voids in siding material. All exposed nail heads securing siding material to structure should be sealed as needed. Check all.</li> <li>Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and <u>A/C</u> refrigerant lines. Check all.</li> <li>A 2" gap between siding material and roof covering material is required. This will deter the siding from wicking moisture over time which can lead to siding deterioration. Check all.</li> <li>Seal all corners of shower tile and where tile meets tub/shower pan as needed. Recommend sealing around all plumbing fixtures in showers and tubs. Check all.</li> </ul>
Page 13 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> <li>Seal exterior door thresholds and at bottom of door jambs/trim to limit moisture/insect intrusion. Check all.</li> <li>Rear left elevation door rubs on the threshold and is difficult to open/close at the time of the inspection.</li> <li>Observed gap at the lower strike side of the rear left elevation door when closed. Recommend adjusting the weatherstripping and/or door to close gap.</li> <li>Missing deadbolt strike plate at the rear left elevation door at the time of the inspection. Recommend boring holes on strike side of the exterior doors to enable deadbolts to fully engage. Check all.</li> </ul>
Page 14 Item: H	Windows	<ul style="list-style-type: none"> <li>Windows are missing screens at various locations of the home at the time of the inspection. Check all.</li> <li>Window located within the lower rear left elevation bedroom was stuck in place and did not open at the time of the inspection. Several windows were difficult to open/close. Recommend adjusting/cleaning tracks and windows so they open smoothly for emergency egress purposes. Check all.</li> <li>Window latch housing is not properly secure in place at the lower rear left bedroom at the time of the inspection. Check all.</li> </ul>
Page 15 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> <li>Hand rail and/or railing is not present at the front elevation porch at the time of the inspection. Handrail is required when there are three or more steps to the landing present.</li> <li>Front elevation and rear elevation deck/patio lumber material is in direct contact with grading at various locations at the time of the inspection. This may cause the building material to deteriorate over time. Post base install ensuring a 1"-2" distance from moisture is recommended. Check all.</li> </ul>

**ELECTRICAL SYSTEMS**

Page 17 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> <li>• Ground rod clamp used to ground main panel is incorrect. It is recommend to replace the incorrect clamp with a proper "Acorn" clamp.</li> <li>• The interior panel cover is missing securing hardware at the time of the inspection. Recommend adding blunt screws to the holes not bing used.</li> <li>• Antioxidant gel is required at aluminum conductor terminations. This gel helps deter corrosion of the aluminum material. Antioxidant gel is not present at theses locations at the time of the inspection.</li> <li>• There are white wires within the panel that are being used as "hot" wires. These wires should be properly marked as ungrounded conductors with red or black paint or tape at all visible locations (anything other than white, gray, or green).</li> </ul>
Page 18 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> <li>• Exterior rear and rear left elevation <b>GFCI</b> receptacles are not resetting/functioning at the time of the inspection. Check all.</li> <li>• The GFCI (ground fault circuit interrupter) receptacle to the right side of the kitchen sink is not properly functioning/tripping at the time of the inspection. Ground Fault Circuit Interrupter (GFCI) receptacles are required in all wet areas. Required areas include: exterior, garage, kitchen backsplash, and bathrooms. Check all.</li> <li>• GFCI receptacle at the right elevation of kitchen sink indicates "open ground" at the time of the inspection. Check all.</li> </ul>

### HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 21 Item: B	Cooling Equipment	<ul style="list-style-type: none"> <li>• A/C <b>condensing unit</b> is not secure to the foundation pad at the time of the inspection. Recommend securing to deter possible damage to refrigerant lines from landscaping equipment.</li> <li>• The A/C condensing unit is not level at the time of the inspection. This condition can affect compressor operation, lubrication and may place excessive stress on the freon lines and connections.</li> <li>• Debris was observed within the A/C secondary drain pan at the time of the inspection. Recommend removing all debris so not to clog drain line.</li> </ul>
Page 22 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none"> <li>• Air filters are dirty at the time of inspection and may be straining the system. Recommend replacing air filters prior to moving in and as required/needed. Check all.</li> </ul>

### PLUMBING SYSTEM

Page 23 Item: A	Plumbing Supply, Distribution Systems and Fixtures	<ul style="list-style-type: none"> <li>• Water meter was not located at the time of inspection. Main water meter is possibly blocked by vegetation and/or covered by mulch/grading, or flatwork. Recommend consulting with the builder and/or licensed plumber regarding exact location prior to closing on the home.</li> <li>• Sealant is not present at the bathroom vanity intersections with counter tops at the time of the inspection. Check all.</li> </ul>
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Page 24 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> <li>• Main sewer line clean out was not located at the time of the inspection. Main sewer clean out is possibly blocked by vegetation and/or covered by mulch/grading, or flatwork. Recommend consulting with the builder and/or licensed plumber regarding exact location prior to closing on the home.</li> <li>• Stack vent is capped/covered at the time of the inspection. Cap should be removed so vent can allow sewer gas to escape as intended. Recommend sealing vent at intersection with roof jack to deter moisture penetration. Check all.</li> <li>• S-trap drain line configuration is present beneath the powder bathroom vanity at the time of the inspection.</li> <li>• Flexible accordion drain pipe is present beneath the powder bathroom vanity at the time of the inspection. Accordion drain tubes are prone to building up material and/or leakage. Recommend having a standard rigid tailpipe installed with a smooth interior wall.</li> <li>• Leak present at the Jack and Jill bathroom right side vanity drain stop at the time of the inspection.</li> <li>• Leak present at the master bathroom right side vanity drain line connection/gasket at the time of the inspection.</li> <li>• Leak present at the master bathroom tub drain/gasket at the time of the inspection.</li> <li>• Recommend a complete system evaluation/repairs made by a licensed Plumber prior to closing on the home.</li> </ul>
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## APPLIANCES

Page 29 Item: D	Ranges, Cooktops, and Ovens	<ul style="list-style-type: none"> <li>• Cooktop is not properly secure in place at the time of the inspection.</li> </ul>
Page 30 Item: F	Mechanical Exhaust Vents and Bathroom Heaters	<ul style="list-style-type: none"> <li>• Bathroom exhaust fan vent termination is missing the proper cover at the rear right elevation of the home at the time of the inspection.</li> </ul>
Page 30 Item: G	Garage Door Operators	<ul style="list-style-type: none"> <li>• Garage door opener light fixture is not functioning and/or the light bulb is expired/missing at the time of the inspection. Recommend changing bulb and checking function of fixture. Check all.</li> </ul>